

**AGENDA**  
**CITY OF MARSHALL PLANNING COMMISSION**  
City Hall-Council Chambers-323 W. Michigan Ave., Marshall, MI  
Wednesday – April 8, 2015 – 7:00 p.m.

**CALL TO ORDER**

**ROLL CALL**

**CONSIDERATION OF MINUTES**

Regular meeting minutes from March 11, 2015

**APPROVAL OF AGENDA**

**AUDIENCE PARTICIPATION**

**Informational item-** David Martin from Kingscott, will give an informational presentation on the plan for Gordon Elementary School.

**Items on the agenda--** Citizens who wish to speak on a matter on the agenda may do so when called upon by the Chairman. Those people addressing the Board are required to give their name and address for the record and shall be limited to speaking for a maximum of five (5) minutes on a given matter.

**PUBLIC HEARINGS**

None

**NEW BUSINESS**

1. Receive and consider approval of Site Plan #SP15.03 for City Hall Parking Lot at 323 W. Michigan

**OLD BUSINESS**

1. Consider approval of Site Plan #SP15.01 for Taco Bell at 15955 W. Michigan Avenue

**PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA --** Citizens who wish to address the Board on items not on the agenda may do so at this time. When called upon by the Chairman, please state your name and address for the record. Members of the public shall be limited to speaking for a maximum of five (5) minutes.

**REPORTS**

Commissioners  
City Council Liaison  
DDA Liaison  
ZBA Minutes: Found online at [www.cityofmarshall.com](http://www.cityofmarshall.com)  
Staff Reports  
Code Enforcement Index

**ADJOURN**

**MINUTES  
MARSHALL CITY PLANNING COMMISSION  
WEDNESDAY, March 11, 2015**

In a regular meeting session, Wednesday, March 11, 2015 at 6:59 p.m. at City Hall, Council Chambers, 323 W. Michigan Ave., Marshall, MI, the Marshall Planning Commission was called to order by Chair Davis.

**ROLL CALL**

Members Present: Commissioners Davis, Banfield, Collins, Mankerian, McNiff (7:02pm), Meservey, Rodgers, Zuck, and Council Liaison Miller

Members Absent: Commissioners Burke-Smith

Staff Present: Natalie Dean, Director of Community Services

**MINUTES**

**MOTION** by Banfield, supported by Mankerian, to accept the minutes of the February 11, 2015 regular meeting as presented. On a voice vote; **MOTION CARRIED.**

**AGENDA**

**MOTION** by Zuck, supported by Collins, to accept the agenda for the March 11, 2015 regular meeting as presented. On a voice vote; **MOTION CARRIED.**

**AUDIENCE PARTICIPATION**

None

**PUBLIC HEARINGS**

None

**NEW BUSINESS**

Receive Site Plan SP#15.01 for Taco Bell at 15955 W. Michigan Avenue.

**MOTION** by Collins, supported by Banfield, to receive site plan SP#15.01 for Taco Bell at 15955 W Michigan Ave. On a voice vote; **MOTION CARRIED.**

Staff presented the site plan for Taco Bell to the commissioners for the first review. The site plan has already been reviewed by city staff. Multiple items were not compliant with

ordinance requirements, and it was suggested to the developer to seek variances to address these items.

Jim Vandenburg, Chicago Diversified representative of Grand Rapids, discussed that the site is being proposed for a complete demolition with the new structure being a prototype design. He mentioned that they do plan to save some existing parking areas and a retaining wall. He also discussed that the variances that will be requested are in order to keep the same amount of parking as current lot, improve traffic flow, place loading area in front yard, and get relief from certain landscaping requirements. Vandenburg mentioned that they plan to remove the buffer curb by the drive thru area for easier access as well as removing the outdoor seating area.

Commissioners discussed the proposed site is less pedestrian friendly, the need of multiple variances suggested that the use may be too large for such a small site, and landscaping choices could be revisited for better species and placement options.

Receive and consider approval for Site Plan #15.02 for Quality Excavators at 817 Industrial Road

**MOTION** by Zuck, supported by McNiff, to receive site plan SP#15.02 for Quality Excavators at 817 Industrial Road.

**MOTION** by McNiff, supported by Zuck, to recuse Commissioner Banfield due to conflict of interest. On a voice vote; **MOTION CARRIED.**

On a voice vote; **MOTION CARRIED.**

**MOTION** by Meservey, supported by Mankerian, to approve site plan SP#15.02 for Quality Excavators at 817 Industrial Road.

Staff discussed that the site has been previously used as a stock yard, and Quality Excavators plan to build office and storage space. No issues were presented from city staff's review.

Alan Patrick of KEBS Engineering confirmed plan to add small office building with paved parking lot.

On a voice vote; **MOTION CARRIED.**

**OLD BUSINESS**

None

**PUBLIC COMMENTS**

None

## **REPORTS**

Davis welcomed Rodgers back to the Planning Commission. He also welcomed newly appointed Council Liaison Miller. Davis gave an update on MAEDA including expected launch of a new website and reorganization of advisory boards.

Staff reported that Lisa Huepenbecker has been promoted to Community Services Project Coordinator, and Crystal Lane is training as Administrative Receptionist.

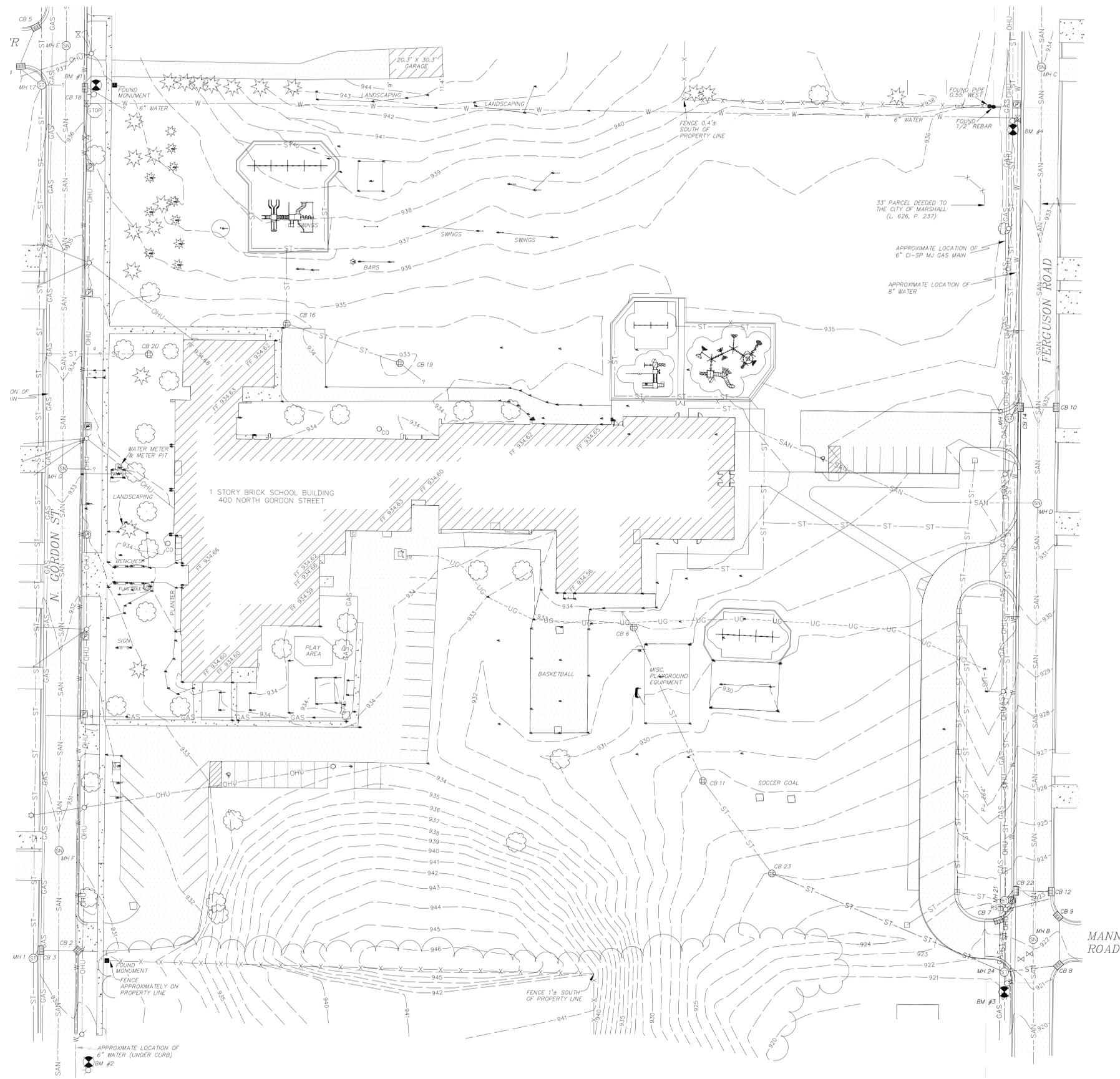
Meservey reported that the Farmers' Market received the \$10,000 grant for which they had applied, and the market will open May 16.

## **ADJOURN**

The Planning Commission adjourned at 7:38 pm.

Submitted by,

*Crystal Lane*



**LEGAL DESCRIPTION: FROM FIRST AMERICAN TITLE INSURANCE COMPANY  
TITLE COMMITMENT No. P13-14701 DATED 07/15/2010**

LOCATED IN THE CITY OF MARSHALL, COUNTY OF CALHOUN, STATE OF MICHIGAN, AND IS DESCRIBED AS:

LOTS 1 & 2, BLOCK 2, OF MONTGOMERY'S ADDITION TO THE CITY OF MARSHALL, ACCORDING TO THE PLAT THEREOF, FILED IN LIBER 71, PAGE 66, RECORDS OF CALHOUN COUNTY, STATE OF MICHIGAN.

**SCHEDULE B - SECTION II  
EXCEPTIONS**

ITEM #6 TERMS & CONDITIONS AS SET FORTH IN THE INSTRUMENT RECORDED IN LIBER 626, PAGE 237, CALHOUN COUNTY RECORDS.

**BENCH MARK DATA**

ELEVATIONS BASED ON CITY OF MARSHALL UTILITY DATUM.

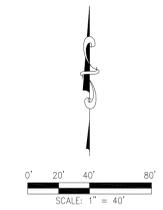
**BM #1** EL= 938.29'  
SET CHISELED "X" ON NORTHEAST UPPER FLANGE BOLT ON HYDRANT, LOCATED ON THE EAST SIDE OF NORTH GORDON ROAD, NEAR THE NORTHWEST PROPERTY CORNER.

**BM #2** EL= 931.53'  
SET CHISELED "X" ON SOUTHEAST UPPER FLANGE BOLT ON HYDRANT, LOCATED ON THE EAST SIDE OF NORTH GORDON STREET, 75'± SOUTH OF THE SOUTHWEST PROPERTY CORNER.

**BM #3** EL= 923.63'  
FOUND CHISELED "X" ON SOUTHWEST FLANGE BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF FERGUSON ROAD, NEAR THE SOUTHWEST PROPERTY CORNER.

**BM #4** EL= 936.13'  
FOUND CHISELED "X" ON NORTHEAST UPPER FLANGE BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF FERGUSON ROAD, NEAR THE NORTHEAST PROPERTY CORNER.

**BM #5** EL= 933.51'  
FROM PREVIOUS SURVEY BY DRESENKA & ASSOCIATES, JOB # 0110470.5, DATED 12/18/11. FOUND RAILROAD SPIKE IN THE SOUTHWEST FACE OF A LIGHT POLE 72'± EAST OF THE EAST ENTRANCE TO THE SCHOOL, ON THE NORTH SIDE OF THE SIDEWALK.



**STORM SEWER STRUCTURE DATA**

MH 1 RIM= 930.85 (NE) 12" CLAY 925.75 (S) 15" CLAY 924.95	CB 14 RIM= 931.60 (SW) 12" CLAY 926.85 (E) 12" CLAY 927.90
CB 2 RIM= 930.19 (W) 12" CLAY 926.99	MH 15 RIM= 932.32 (S) 15" RCP 928.37 (NE) 12" CLAY 926.57
CB 3 RIM= 930.00 (E) 12" CLAY 928.35 (SW) 12" CLAY 925.90	CB 16 RIM= 933.28 (SE) 6" CLAY 931.18
CB 4 RIM= 937.67 (NE) 12" CLAY 934.02 (SE) 12" CLAY 933.42	MH 17 RIM= 937.03 (NW) 12" CLAY 923.68 (E) 12" CLAY 932.69 (S) 15" CLAY 932.01 (N) 15" CLAY 932.04
CB 5 RIM= 937.14 (SW) 12" CLAY 934.84	MH 18 RIM= 936.12 (SE) 12" CLAY 933.32
CB 6 RIM= 932.78 (NW) 8" CLAY 926.35 (SE) 12" CLAY 926.32	CB 19 RIM= 932.56 (W) 8" CLAY 929.46 (SE) 8" CLAY 929.46
CB 7 RIM= 922.11 (S) 12" CLAY 918.46	CB 20 RIM= 933.93 (W) 6" CLAY 931.11
CB 8 RIM= 921.27 (N) 12" CLAY 918.22 (W) 12" CLAY 917.92	MH 21 RIM= 923.30 (N) 15" RCP 917.80 (S) 15" RCP 917.75 (NE) 12" CLAY 919.30
CB 9 RIM= 922.05 (WS) 12" CLAY 919.17	CB 22 RIM= 922.72 (SW) 12" CLAY 919.37 (E) 12" PVC 919.37
CB 10 RIM= 931.60 (W) 12" CLAY 928.48	CB 23 RIM= 924.85 (NW) 12" CLAY 921.25 (SE) 12" CLAY 921.20
CB 11 RIM= 927.36 (SE) 12" CLAY 923.06 (NW) 12" CLAY 923.26	CB 12 RIM= 922.86 (W) 12" PVC 919.90
CB 12 RIM= 922.86 (W) 12" PVC 919.90	MH 24 RIM= 921.19 (S) 15" RCP 916.48 (NW) 12" CLAY 916.64 (N) 12" CLAY 916.69 (N) 15" RCP 916.64 (E) 12" CLAY 916.69
MH 13 RIM= 936.07 NOT SHOWN 425'± NORTH OF MH 15 (NE) 12" CLAY 930.37 (N) 12" RCP 929.82 (S) 12" RCP 928.77	

**SANITARY SEWER STRUCTURE DATA**

MH A RIM= 927.53 NOT SHOWN 287'± SOUTH OF MH F
MH B RIM= 922.24 (N) 8" CLAY 913.54 (S) 8" CLAY 919.68
MH C RIM= 934.02 (N) 8" CLAY 925.92 (S) 8" CLAY 925.77
MH D RIM= 931.63 (N) 8" CLAY 933.98 (S) 8" CLAY 922.98
MH E RIM= 937.34 (N) 8" CLAY 926.76 (S) 8" CLAY 929.44
MH F RIM= 930.97 (N) 8" CLAY 922.57 (S) 8" CLAY 922.52
MH G RIM= 933.31 (N) 8" CLAY 925.31 (S) 8" CLAY 925.46 (E) 8" CLAY 926.01

**LEGEND**

MONUMENT	EXISTING
IRON FOUND	IRON FOUND
LIGHT POLE	UTILITY POLE
GUY ANCHOR	CLEARCUT
UTILITY POLE	VALVE (WATER & GAS)
CLEARCUT	STORM SEWER MANHOLE
VALVE (WATER & GAS)	SANITARY SEWER MANHOLE
STORM SEWER MANHOLE	CATCH BASIN
SANITARY SEWER MANHOLE	FIRE HYDRANT
CATCH BASIN	TRANSFORMER
FIRE HYDRANT	UTILITY RISERS
TRANSFORMER	ELECTRIC METER
UTILITY RISERS	GAS METER
ELECTRIC METER	HAND HOLE (ELECTRIC)
GAS METER	SON
HAND HOLE (ELECTRIC)	BENCH MARK
SON	MEASURED
BENCH MARK	PLATED
MEASURED	FENCE LINE
PLATED	ELECTRIC
FENCE LINE	TELEPHONE
ELECTRIC	FIBER OPTIC
TELEPHONE	GAS LINE
FIBER OPTIC	EXISTING WATER LINE
GAS LINE	EXISTING STORM SEWER
EXISTING WATER LINE	EXISTING SANITARY SEWER
EXISTING STORM SEWER	BITUMINOUS SURFACE
EXISTING SANITARY SEWER	CONCRETE SURFACE
BITUMINOUS SURFACE	GRAVEL SURFACE
CONCRETE SURFACE	CONIFEROUS TREE
GRAVEL SURFACE	DECIDUOUS TREE
CONIFEROUS TREE	
DECIDUOUS TREE	

**SURVEYOR'S NOTES**

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 1-800-482-7171.
- CONTOUR INTERVAL = 1 FOOT.
- PARCEL IS ZONED - PSP (PUBLIC / SEMI-PUBLIC SERVICES).
- ADJACENT PARCELS ARE ZONED - R-2 (SUBURBAN RESIDENTIAL).
- FEDERAL EMERGENCY MANAGEMENT AGENCY HISTORIC FLOOD INSURANCE RATE MAP (COMMUNITY PANEL NUMBER 260053 001 B DATED APRIL 1, 1982) SHOWS THIS PARCEL LYING IN ZONE "C" (AREAS OF MINIMAL FLOODING).
- PARCEL CONTAINS 359,728 SQ. FT. (8.26± ACRES)

ALAN E. DAHL, PROFESSIONAL SURVEYOR #47948

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

**SITE TOPOGRAPHICAL SURVEY**  
SCALE 1" = 30'

## Gordon Elementary Traffic Improvements Marshall Public Schools Marshall, Michigan

REVISIONS/REVIEW	DATE
SCHEMATIC DESIGN	03/28/15

KEY PLAN

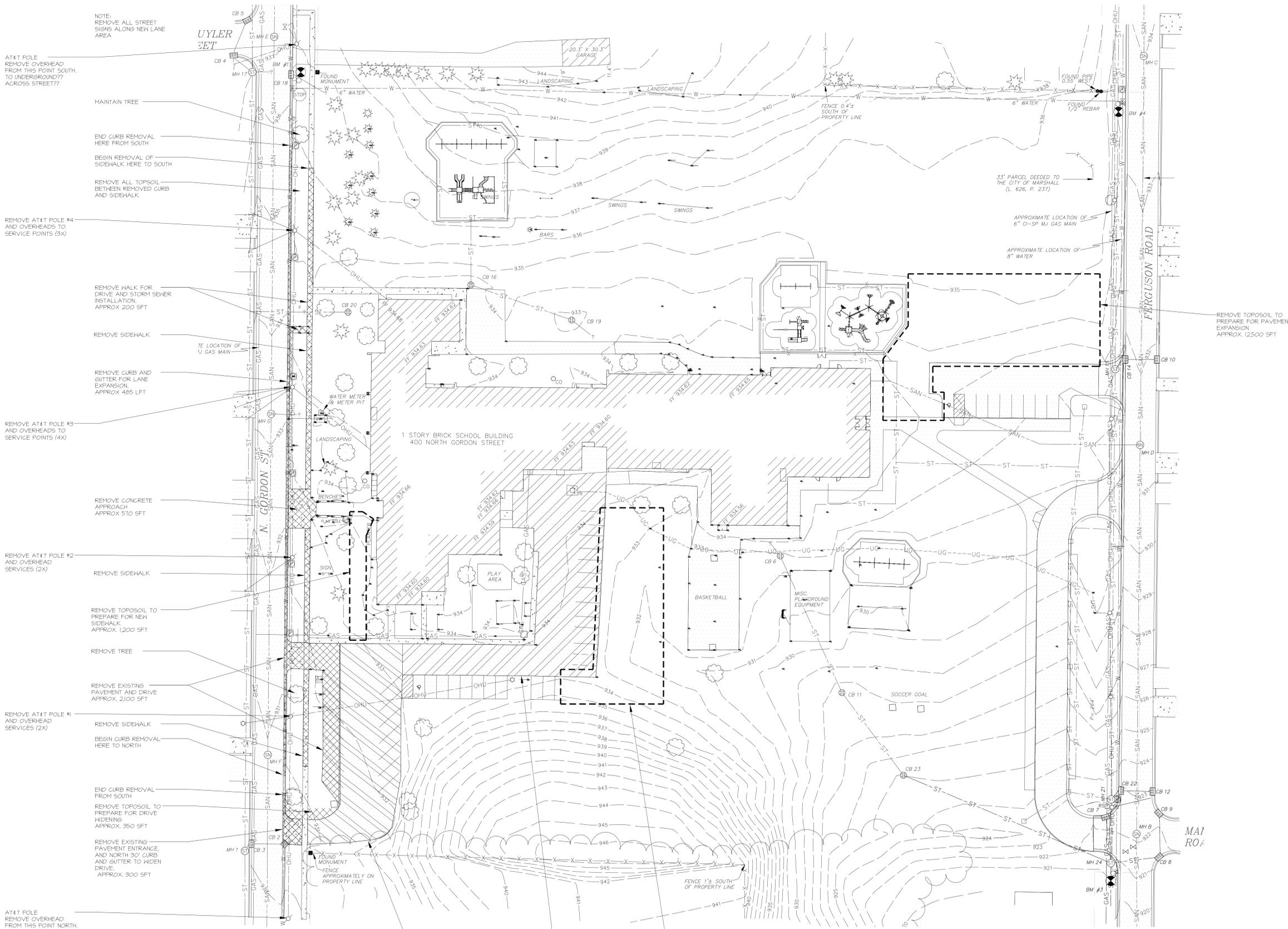
JOB NO. #2107.34  
SHEET TITLE

TOPOGRAPHICAL SURVEY

SHEET NO.

**C0.1**

**Gordon Elementary  
Traffic Improvements  
Marshall Public Schools  
Marshall, Michigan**



DEMOLITION AND REMOVAL PLAN  
SCALE 1" = 30'

REVISIONS/REVIEW	DATE
SCHEMATIC DESIGN	03/28/15

KEY PLAN

JOB NO. #2107.34

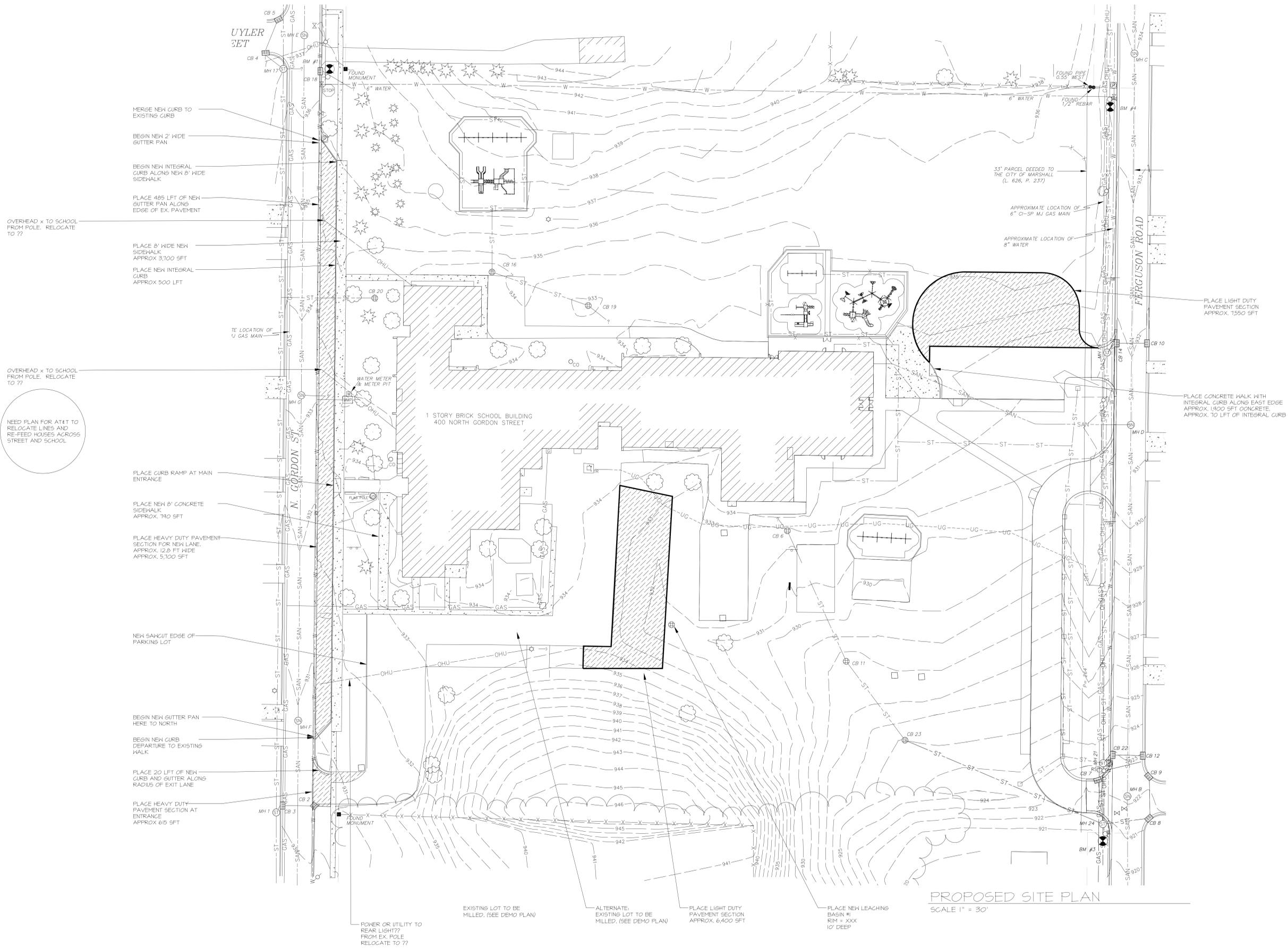
SHEET TITLE

DEMOLITION AND REMOVAL

SHEET NO.

C1.0

**Gordon Elementary  
 Traffic Improvements  
 Marshall Public Schools  
 Marshall, Michigan**



PROPOSED SITE PLAN  
 SCALE 1" = 30'

REVISIONS/REVIEW	DATE
SCHEMATIC DESIGN	03/28/15

KEY PLAN

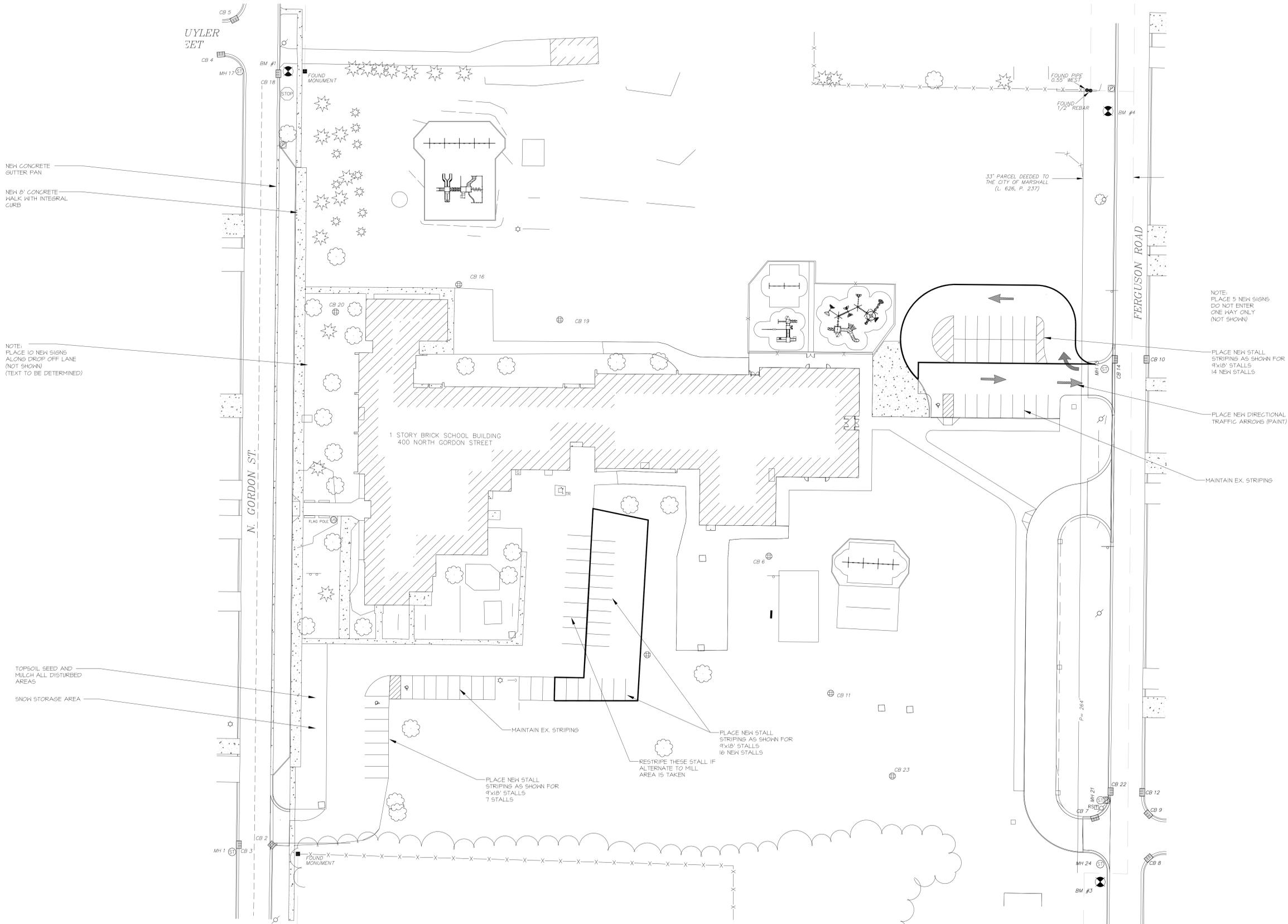
JOB NO. #2107.34  
 SHEET TITLE

PROPOSED SITE PLAN

SHEET NO.

**C2.0**

**Gordon Elementary  
 Traffic Improvements  
 Marshall Public Schools  
 Marshall, Michigan**



NEW CONCRETE  
GUTTER PAN

NEW 8" CONCRETE  
CURB WITH INTEGRAL  
CURB

NOTE:  
PLACE 10 NEW SIGNS  
ALONG DROP OFF LANE  
(NOT SHOWN)  
(TEXT TO BE DETERMINED)

TOPSOIL SEED AND  
MULCH ALL DISTURBED  
AREAS

SNOW STORAGE AREA

NOTE:  
PLACE 5 NEW SIGNS  
DO NOT ENTER  
ONE WAY ONLY  
(NOT SHOWN)

PLACE NEW STALL  
STRIPING AS SHOWN FOR  
14 NEW STALLS

PLACE NEW DIRECTIONAL  
TRAFFIC ARROWS (PAINT)

MAINTAIN EX. STRIPING

1 STORY BRICK SCHOOL BUILDING  
400 NORTH GORDON STREET

PLACE NEW STALL  
STRIPING AS SHOWN FOR  
7 STALLS

RESTRIPE THESE STALL IF  
ALTERNATE TO MILL  
AREA IS TAKEN

PLACE NEW STALL  
STRIPING AS SHOWN FOR  
16 NEW STALLS

33' PARCEL DEEDED TO  
THE CITY OF MARSHALL  
(L. 626, P. 237)

PROPOSED RESTORATION / STRIPING PLAN  
 SCALE 1" = 30'

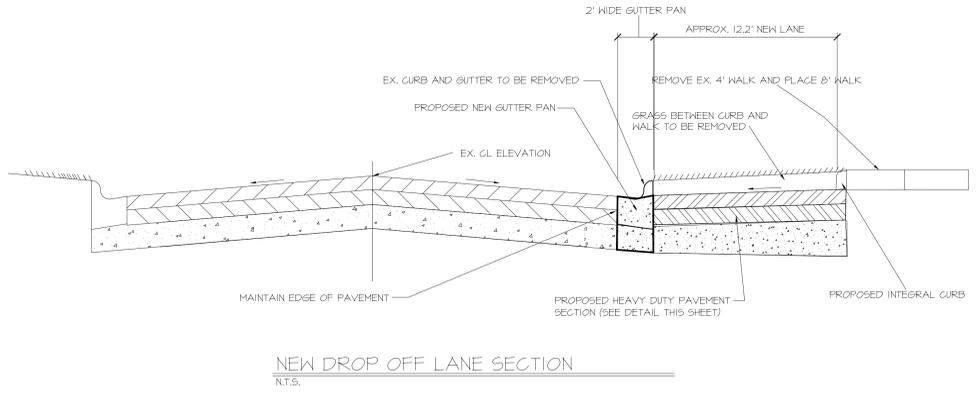
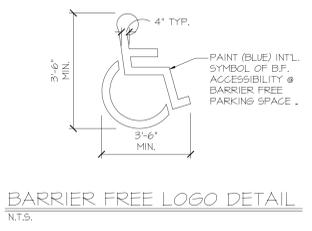
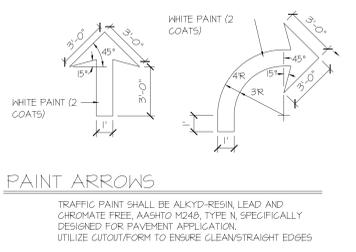
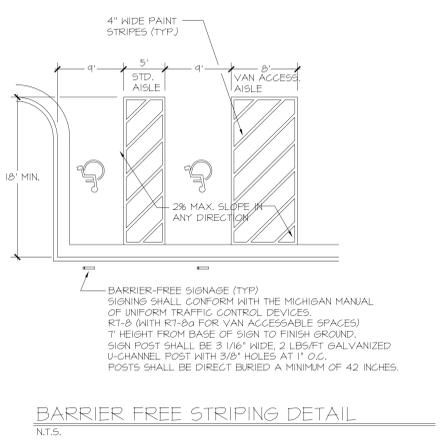
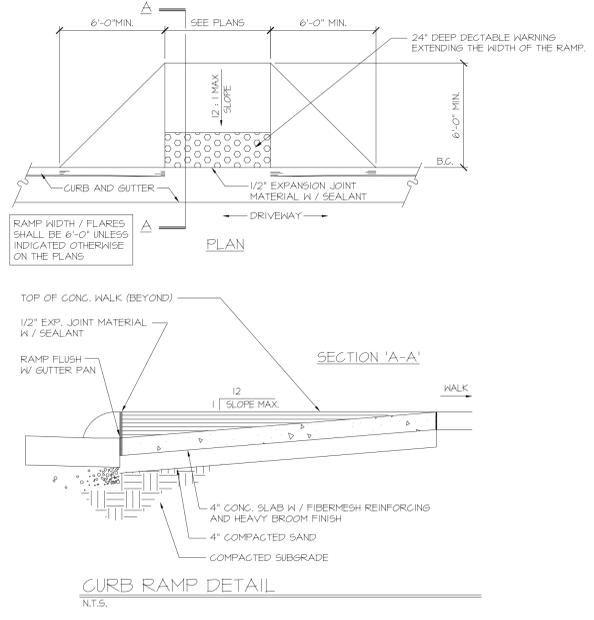
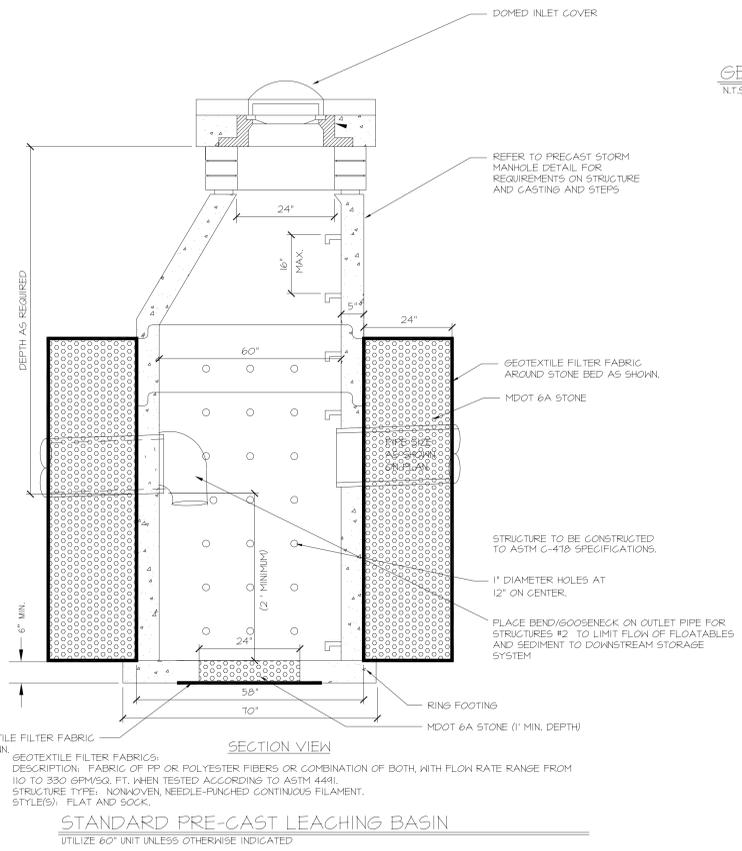
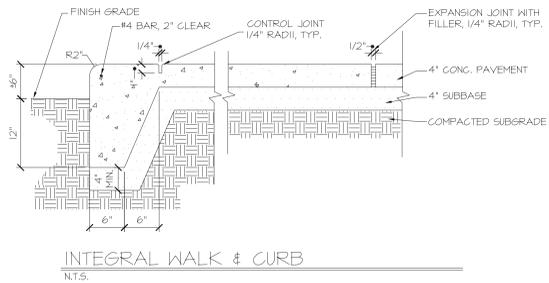
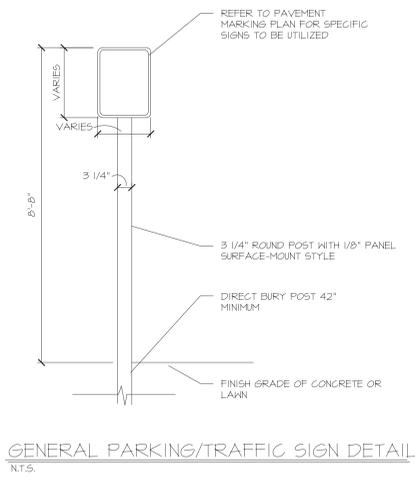
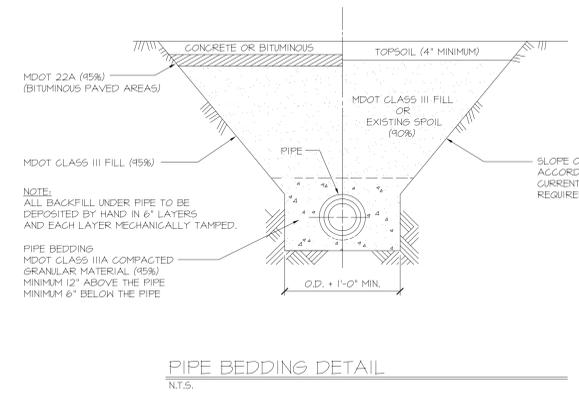
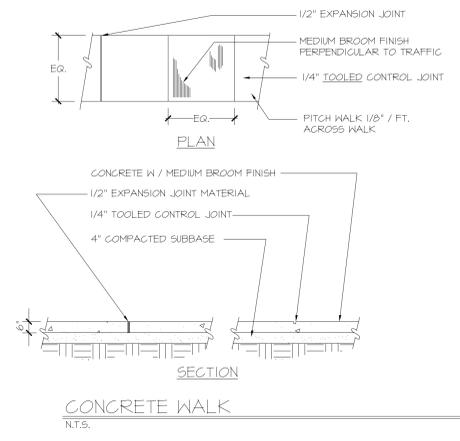
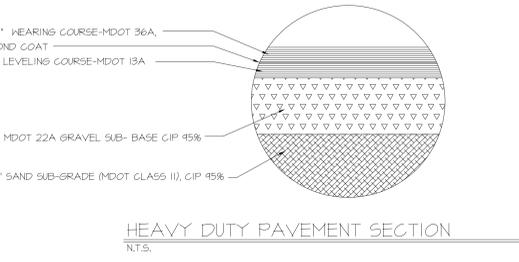
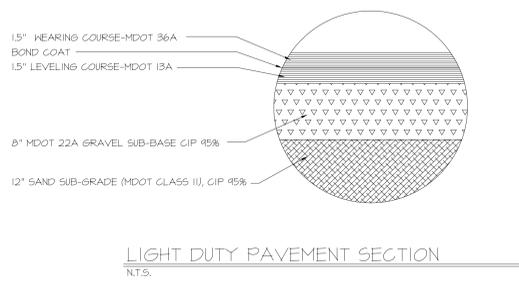
REVISIONS/REVIEW	DATE
SCHEMATIC DESIGN	03/28/15

KEY PLAN

JOB NO. #2107.34

SHEET TITLE  
**PROPOSED RESTORATION PLAN**

SHEET NO.  
**C3.0**



## Gordon Elementary Traffic Improvements Marshall Public Schools Marshall, Michigan

REVISIONS/REVIEW	DATE
SCHEMATIC DESIGN	03/28/15

KEY PLAN

JOB NO. #2107.34

SHEET TITLE

SITE DETAILS

SHEET NO.

**C4.0**

**Report To:** Chairman Davis and Planning Commission Members  
**From:** Natalie Dean, Director of Community Services  
**Subject:** City Hall Parking Lot, 323 W. Michigan Ave.  
**Meeting Date:** April 8, 2015

## **SITE PLAN REVIEW**

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**Case #:** Site Plan #SP15.03  
**Zoning District:** POSD Professional Office Service District  
**Adjacent Zoning:** POSD to south/east, MFRD to west  
**Parcel(s):** 000-535-00  
**Variances:** In 2003, Case#13.04 granted:  
(a) *§156.368 Nonconforming Structures* to increase the size of a non-conforming structure & *§156.181 Mixed Use and Non-Residential Districts* to minimize required setback distances and lot coverage.  
(b) *§156.330 Access Management Standards* to allow a driveway to be less than 100 feet from an intersection.  
(c) *§156.324 Minimum Number of Spaces Provided (Parking)* to reduce the amount of required parking on site.

**Proposed Use:** Use remains consistent-City Hall parking

### **FINAL PLAN**

The City received an initial site plan for the demolition of the fire bay and parking lot rebuild at City Hall on March 11, 2015. Since the new fire station is almost ready, the fire department no longer needs the apparatus bay at City Hall; it was decided that the area will be better served providing parking.

A city staff review was held on March 19, 2015 to discuss the plan and suggest revisions. Following the meeting, revisions to the plan included items pertaining to landscaping, setbacks, increasing the size of the parking spaces, and grading of the driveway to reduce the slope. **The City is asking that the Planning Commission receive and approve the site plan at the April meeting**, so site work can begin immediately.

City Hall is situated on less than an acre and therefore, does not require a Landscape Architect to stamp the plans, although staff has informed the designer of requirements. The original site plan contained minimal parking lot setback and very minimal landscaping. Those areas have been corrected in the final site plan submission. The south and west parking setbacks are now shown at 10' and at the city manager's request, the width of the parking spaces have been increased to 10' (instead of 9'). Staff approved utility locations and storm water drainage for the site at the staff meeting.

According to §156.391, Standards for Site Plan Approval, the Planning Commission shall consider the following standards during review:

**(A) Adequacy of Information.**

*The information on the site plan being disseminated is the most current plan. The information is complete, and legible.*

**(B) Site Appearance and Preservation.**

*This site is developed and had been for some time. This plan actually creates green space that wasn't existing previously. Existing street trees along Green Street are being preserved.*

**(C) Pedestrian Access.**

*Sidewalks will be replaced or preserved. A pedestrian walkway is being added to the south where the apparatus bay is being removed.*

**(D) Vehicular Circulation.**

*There are no new driveways being proposed, however, the existing driveway will be re-worked to fix the steep slope.*

**(E) Parking and Loading.**

*The proposed parking spaces add 5 new spaces. The ordinance (§156.324 (D)) allows for 1 space per 1,000 gross floor area-at 8,100 square feet, this would only allow for 8 parking spaces (or 10 if given the extra 20%). In subsection (B), the Planning Commission may “allow additional parking spaces upon determining that such parking is necessary...” The City is asking, based on facilities and meetings held in City Hall, and the employee count, that Planning Commission allow the extra spaces.*

**(F) Building Composition.**

*The new section of the building will be re-faced to match the rest of the building.*

**(G) Screening.**

*Landscaping has been added to the parking lot in every available area and meets ordinance requirements.*

**(H) Exterior Lighting.**

*Lighting will be provided in the parking lot from 20' poles.*

**(I) Impact upon Public Services.**

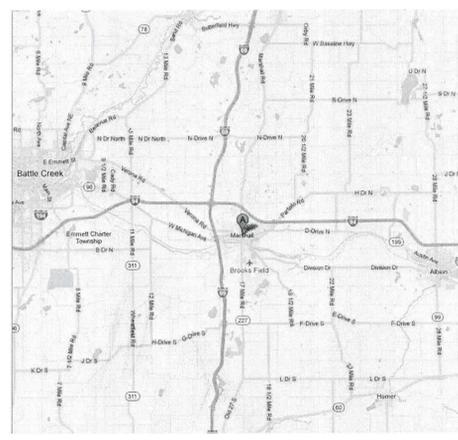
*City utility staff feel that utility plans and loads for this site will be manageable.*

City Hall, 323 W. Michigan Ave.:

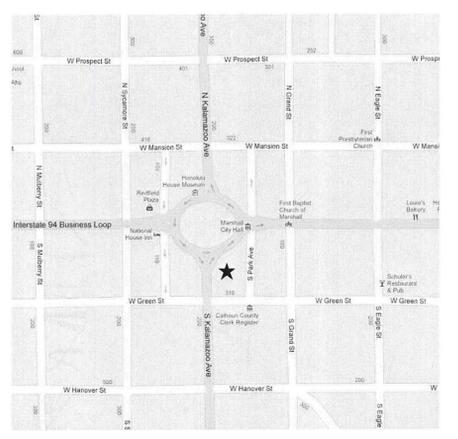




LOCATION MAP  
NO SCALE



VICINITY MAP  
NO SCALE



AREA MAP  
NO SCALE

# RENOVATIONS FOR: CITY OF MARSHALL CITY HALL PARKING LOT 323 WEST MICHIGAN AVENUE MARSHALL, MICHIGAN 49068 PROJECT NUMBER: 120108 ISSUE DATE: 03/27/2015 SITE PLAN REVIEW



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
000 General	
G-001	COVER SHEET
002 Civil	
C-001	EXISTING SITE PLAN
C-101	SITE DEMOLITION PLAN
C-102	PROPOSED SITE PLAN GRADING PLAN
C-103	PROPOSED SITE PLAN
C-501	GENERAL NOTES & STANDARD DETAILS
C-503	SOIL EROSION & SEDIMENT CONTROL (SESC) DETAILS
003 Landscape	
L-100	PROPOSED LANDSCAPE PLAN & DETAILS
L-500	LANDSCAPE DETAILS
005 Architectural	
A-100	ARCHITECTURAL DETAILS
011 Electrical	
E-100	PROPOSED SITE PHOTOMETRIC PLAN

REVISIONS		
REV	DESCRIPTION	DATE

SCALE

PROJ # 120108

DATE 03/27/2015

SHEET

G-001



WE RECYCLE

DESIGNED BY: ...  
APPROVED BY: ...  
CHECKED BY: ...  
PLOTTED BY: ...  
DATE: 03/27/2015 5:28 PM  
C:\projects\811\811\_001.dwg



SITE BENCHMARK ELEVATION 916.86  
TOP OF BIG ARM OF HYDRANT AT THE  
SOUTHEAST CORNER OF S KALAMAZOO  
AVENUE AND W GREEN STREET.

REFERENCE POINTS		
17	N281866.07	E12961856.82
18	N281766.44	E12961647.20
19	N281602.75	E12961832.96

THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE  
SYSTEM (NAD 83)

LEGAL DESCRIPTION:  
Lots 5 & 6 of Block 22, plat of the City of Marshall,  
Lower Village.  
PARCEL NO. 53-000-535-00



www.c2ae.com

elevating human achievement

CITY OF MARSHALL  
MARSHALL CITY HALL PARKING LOT  
323 WEST MICHIGAN AVENUE

EXISTING SITE PLAN

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: AS SHOWN

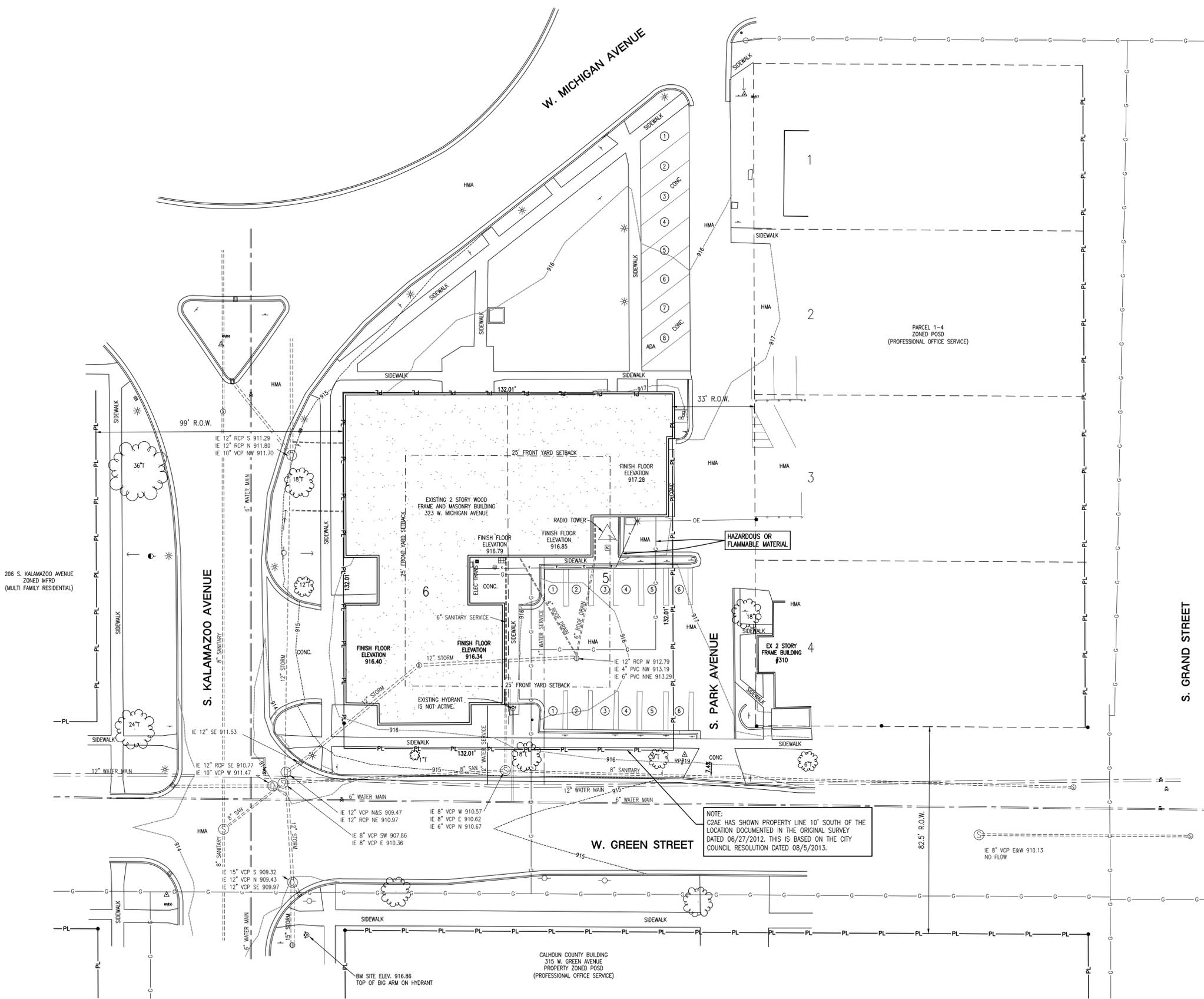
PROJ. #: 120108

DATE: 3/27/2015

SHEET

C-001

SITE PLAN REVIEW



GENERAL PLAN LEGEND

EX WATER MAIN	— 4" W —
PROP WATER MAIN	— 4" W —
EX SAN SEWER	— S-3 4" W — 12" SAN —
PROP SANITARY SEWER	— SAN 3 — 12" SAN —
EX STORM SEWER	— 15" STM — ST-3 —
PROP STORM SEWER	— 15" STM —
	— STM MH 40 —
CHAIN LINK FENCE	— — —
PROPERTY LINE	— PL —
FIBER OPTIC	— FO —
STREET LIGHT CONDUCTOR	— SL —
EX OVERHEAD ELECTRIC	— OE —
EX UNDERGROUND ELECTRIC	— OE —
EX GAS MAIN	— G — G —
EX TELEPHONE	— T —
EX MAJOR CONTOUR	— 705 —
EX MINOR CONTOUR	— 704 —

NOTE:  
C2AE HAS SHOWN PROPERTY LINE 10' SOUTH OF THE  
LOCATION DOCUMENTED IN THE ORIGINAL SURVEY  
DATED 06/27/2012. THIS IS BASED ON THE CITY  
COUNCIL RESOLUTION DATED 08/5/2013.







STORM WATER MANAGEMENT CALCULATIONS

EXISTING SITE AREA 17,425 SFT
LOT AREA BETWEEN FIRE STATION TO CURB LINE 5,869 SFT
TOTAL SITE AREA 23,294 SFT

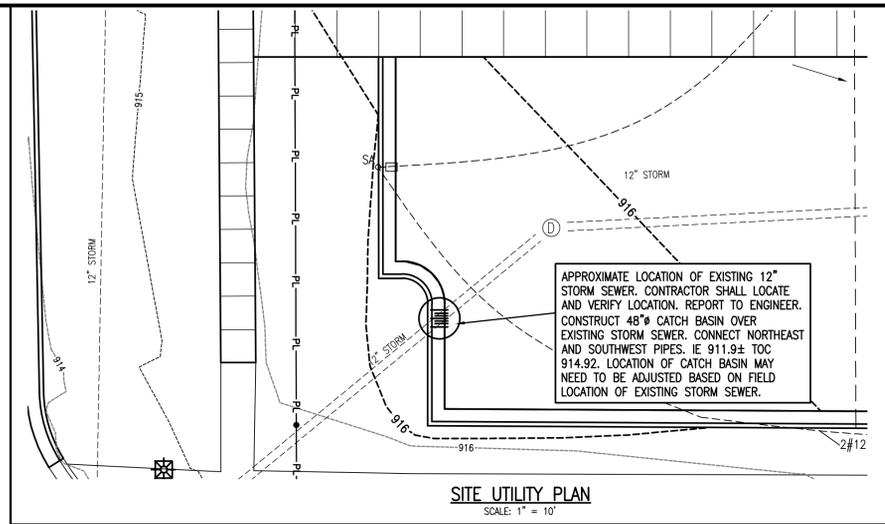
PRE-CONSTRUCTION SITE PERVIOUS AREA 3,301 SFT @ C = 0.20
IMPERVIOUS AREA 19,993 SFT @ C = 0.90
PRE-CONSTRUCTION SITE C FACTOR = 0.80
PRE-CONSTRUCTION STORM FLOW C FACTOR = 0.80
TIME OF CONCENTRATION = 10.0 MINUTES, RAINFALL INTENSITY = 4.40 INCHES/HOUR (MDOT DRAINAGE MANUAL TABLE 3-B-19)
AREA = 0.535 ACRES
STORM FLOW = CIA = 1.88 CFS

POST CONSTRUCTION SITE PERVIOUS AREA 1,161 SFT @ C = 0.20
IMPERVIOUS AREA 22,133 SFT @ C = 0.90
POST-CONSTRUCTION SITE C FACTOR = 0.87
POST-CONSTRUCTION STORM FLOW C FACTOR = 0.87
TIME OF CONCENTRATION = 10.0 MINUTES, RAINFALL INTENSITY = 4.40 INCHES/HOUR (MDOT DRAINAGE MANUAL TABLE 3-B-19)
AREA = 0.535 ACRES
STORM FLOW = CIA = 2.05 CFS

LEGEND

- MDOT TYPE F4 CONCRETE CURB AND GUTTER
MDOT TYPE F4 CONCRETE CURB AND GUTTER - WASH OUT GUTTER PAN. TRANSITION FROM STANDARD GUTTER TO WASH OUT 10' EACH SIDE OF LIMITS NOTED.
CONCRETE SIDEWALK. SIDEWALK SHALL BE 4" THICK UNLESS OTHERWISE NOTED. SEE SIDEWALK DETAIL FOR ADDITIONAL INFORMATION
EXISTING CONTOUR
NEW CONTOUR
NEW SPOT ELEVATION
NEW TOP OF CURB ELEVATION
NEW LIP OF GUTTER ELEVATION
NEW TOP OF WALK ELEVATION

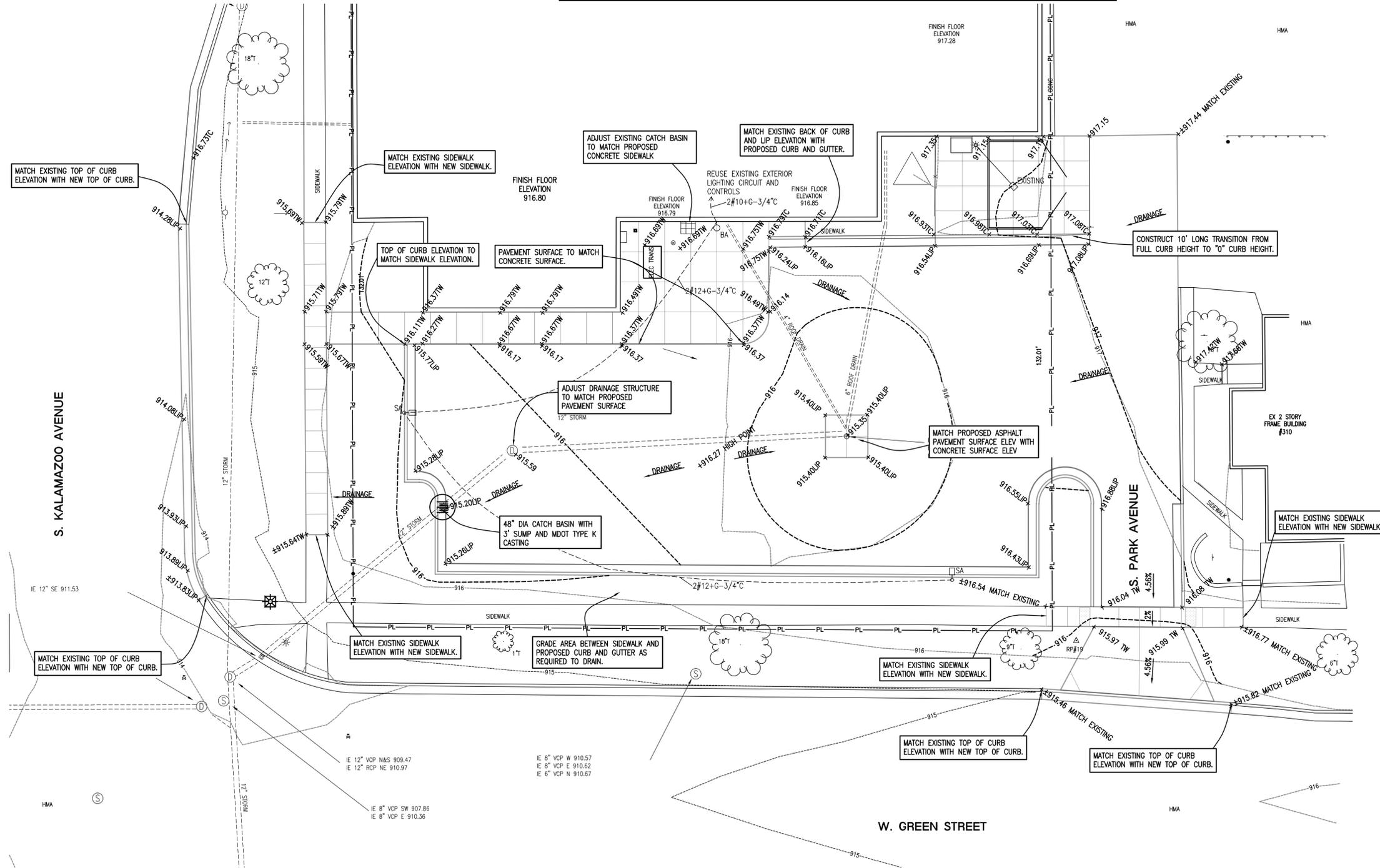
LEGAL DESCRIPTION: Lots 5 & 6 of Block 22, plat of the City of Marshall, Lower Village. PARCEL NO. 53-000-535-00



SITE BENCHMARK ELEVATION 916.86
TOP OF BIG ARM OF HYDRANT AT THE SOUTHEAST CORNER OF S KALAMAZOO AVENUE AND W GREEN STREET.

Table with 4 columns: REFERENCE POINTS, 17, 18, 19, and corresponding elevations.

THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE SYSTEM (NAD 83)



DESIGNED BY: ADAMS MARK
PLOTTED BY: ADAMS MARK
CHECKED BY: ADAMS MARK



www.c2ae.com

CITY OF MARSHALL
MARSHALL CITY HALL PARKING LOT
323 WEST MICHIGAN AVENUE

GRADING AND UTILITY PLAN

REVISIONS table with columns for revision number and description.

SCALE: AS SHOWN
PROJ. #: 120108
DATE: 3/27/2015
SHEET
C-102
SITE PLAN REVIEW







SOIL EROSION CONTROL NOTES:

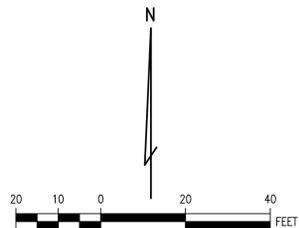
- 1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE OFFICE OF THE CALHOUN COUNTY ROAD DEPARTMENT REQUIREMENTS AND PROJECT SPECIFICATIONS.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. ANY EROSION OR SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS: WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ESTABLISHED.
5. DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTORS. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES TO BE USED ON HAUL ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM.
6. ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR NO LESS THAN ON A DAILY BASIS. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

SEQUENCE OF CONSTRUCTION:

- 1. INSTALL ALL TEMPORARY SILT FENCE PER PLAN AND AS SHOWN ON THE DETAIL THIS SHEET.
2. CONSTRUCT THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT AT THE PROPOSED CONSTRUCTION ENTRANCE, PER DETAIL THIS SHEET.
3. INSTALL GEOTEXTILE FILTER FABRIC WRAPS BETWEEN THE FRAME AND COVER OF ALL EXISTING YARD BASINS OR INLETS WHICH MAY BE SUSCEPTIBLE TO SEDIMENT EROSION FROM THE PROPOSED CONSTRUCTION AS SHOWN IN THESE PLANS.
4. WHILE MAINTAINING A VEGETATIVE BUFFER WHENEVER POSSIBLE, STRIP AND STOCKPILE TOPSOIL ABOVE AREAS OF PROPOSED EXCAVATION OR GRADING FOR LATER USE ON SITE. PLACE STOCKPILED TOPSOIL IN AREAS WHICH ARE NEITHER SUBJECT TO HIGH RUNOFF NOR ALONG STEEP SLOPES. SEED AND MULCH STOCKPILES IMMEDIATELY TO PREVENT WIND BLOWN SEDIMENT POLLUTION AND EXCESSIVE DUST.
5. EXCAVATE FOR PROPOSED SITE AND UTILITY CONSTRUCTION AS NECESSARY. DO NOT EXPOSE AREAS FAR IN ADVANCE OF THE PROPOSED CONSTRUCTION FOR THAT AREA. ROUGHEN AND SCARIFY EXPOSED SURFACES TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. MAINTAIN VEGETATION WHENEVER POSSIBLE TO PROVIDE A NATURAL BUFFER.
6. AFTER COMPLETION OF THE PROPOSED UTILITIES, INSTALL TEMPORARY SEDIMENT BARRIERS WITH SILT FENCE AROUND ALL INLETS. PLACE GEOTEXTILE FILTER FABRIC WRAPS BETWEEN FRAMES AND COVERS.
7. INSTALL TEMPORARY STONE FILTER BERMS PERPENDICULAR TO EXPOSED STEEP SLOPES AS NECESSARY ALONG THE PROPOSED STREETS TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. USE TEMPORARY STRAW BALE CHECK DAMS TO SLOW DOWN AND/OR DIVERT HEAVY RUNOFF WHERE NECESSARY.
8. TOPSOIL, SEED, FERTILIZE & MULCH ALL EXPOSED AREAS WITHIN 5 WORKING DAYS OF ACHIEVING FINAL GRADE TO PROTECT AND RESTORE PERMANENT VEGETATION.
9. WATER EXPOSED GROUND REGULARLY TO CONTROL AIRBORNE PARTICULATE MATTER.
10. THE CONTRACTOR SHALL MAINTAIN ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS AND UNTIL PERMANENT VEGETATION IS RE-ESTABLISHED IN ALL EXPOSED AREAS. REMOVE ACCUMULATED SEDIMENT FROM ALL STRUCTURES.
11. THE SITE WILL BE PERIODICALLY INSPECTED BY THE STAFF OF THE CALHOUN COUNTY ROAD COMMISSION. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE RULES AND REGULATIONS OF THAT OFFICE.
12. UPON FINAL APPROVED INSPECTION OF THE COMPLETED CONSTRUCTION BY ALL REVIEWING AGENCIES, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

ENGINEER'S NOTES:

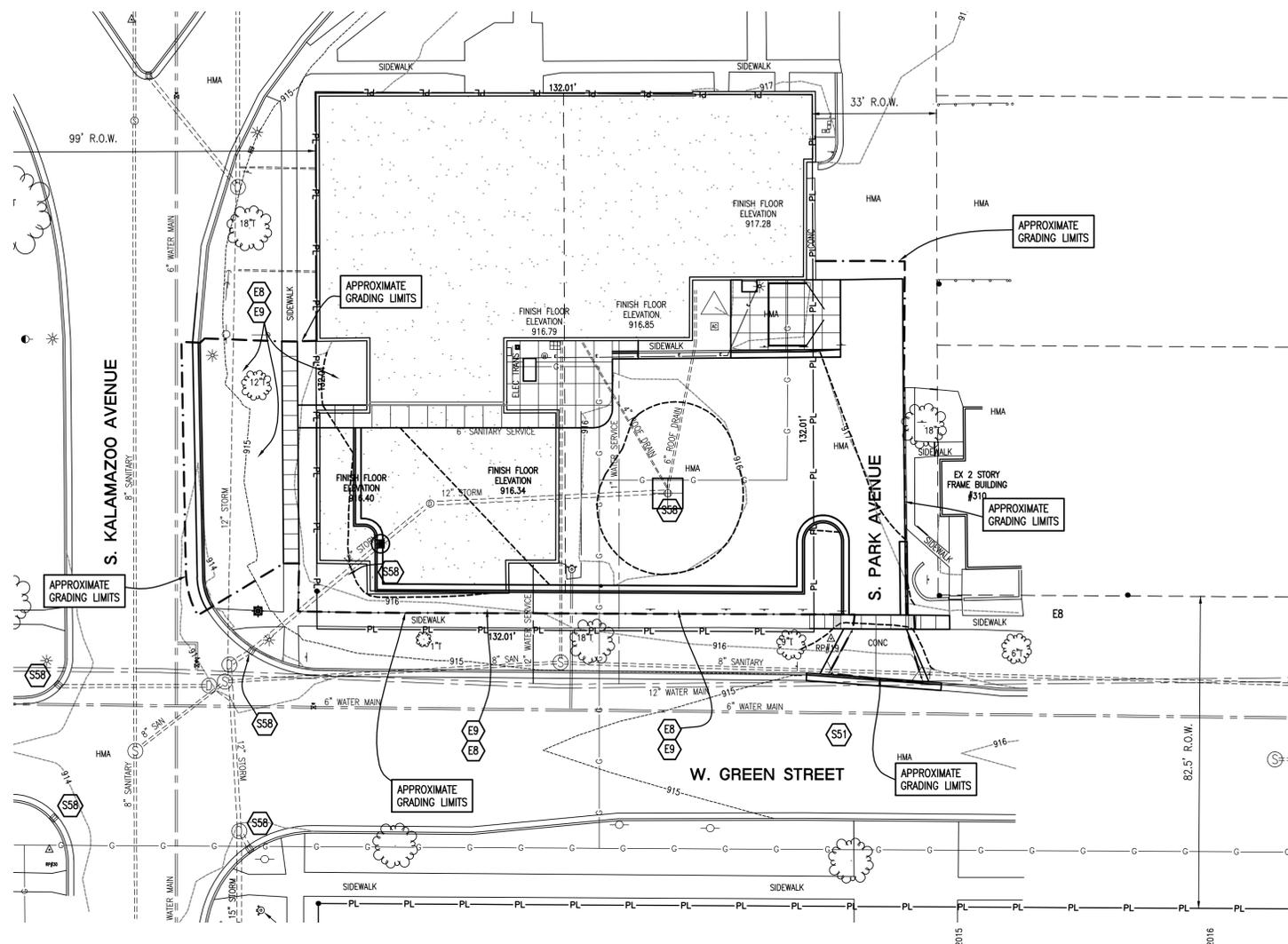
- 1. THE CONTRACTOR SHALL OBTAIN THE SOIL EROSION CONTROL PERMIT AND ANY CONDITIONS OF CONSTRUCTION FROM THE CALHOUN COUNTY ROAD DEPARTMENT COMMISSION (269-781-9841).
2. THE CONTRACTOR SHALL PLACE THE TEMPORARY FILTER FENCE AND CATCH BASIN SILT TRAPS PRIOR TO COMMENCING GRADING OPERATIONS.
3. AFTER EACH RAINFALL EVENT, CONTRACTOR SHALL INSPECT AND MAINTAIN ALL SOIL EROSION CONTROL MEASURES AND CLEAN AND REPLACE CATCH BASIN FILTERS.



THE ESTIMATED AREA WITHIN THE GRADING LIMITS IS 0.30 ACRES.

PER THE CALHOUN COUNTY SOIL SURVEY, ON-SITE SOILS CONSIST OF URBAN LAND-KALAMAZOO COMPLEX.

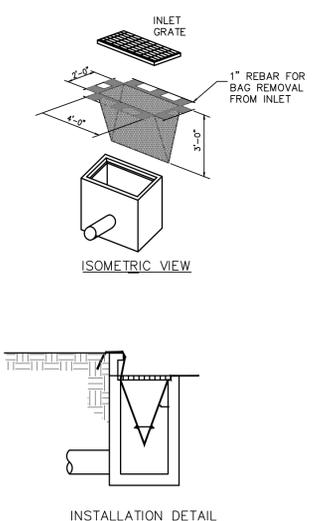
PROPOSED STORM SEWERS (solid line)
EXISTING STORM SEWERS (dashed line)



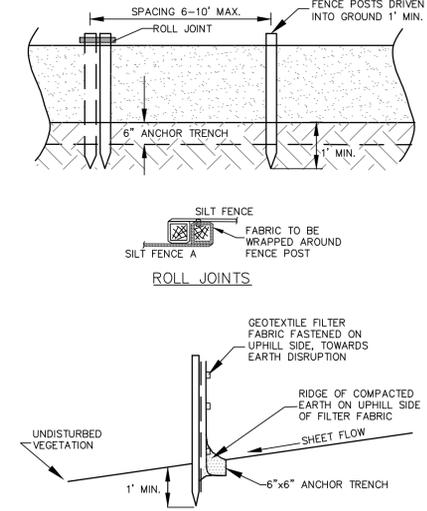
SESC SCHEDULE table with columns for months (MAY-DEC) and rows for construction phases: PLACE & MAINTAIN EROSION CONTROLS, SITE GRADING, UTILITY CONSTRUCTION, BUILDING CONSTRUCTION, PARKING LOT AND DRIVE CONSTRUCTION, RESTORATION - TOPSOIL SPREADING AND PERMANENT SEEDING, FINAL INSPECTION AND REMOVE TEMPORARY EROSION CONTROLS.

SOIL EROSION CONTROL MEASURES KEY table with columns for KEY, DETAIL, and NOTES. Includes entries for E6 MULCH, E7 TEMPORARY SEEDING, E8 PERMANENT SEEDING, E9 MULCH BLANKET, S51 SILT FENCE, S53 STABILIZED CONSTRUCTION ACCESS, and S58 INLET PROTECTION - FABRIC DROP.

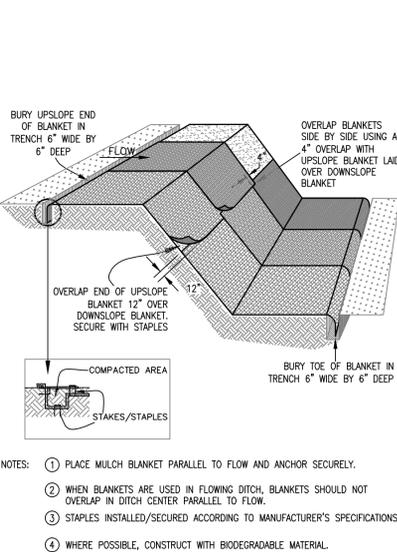
S58 INLET PROTECTION - FABRIC DROP



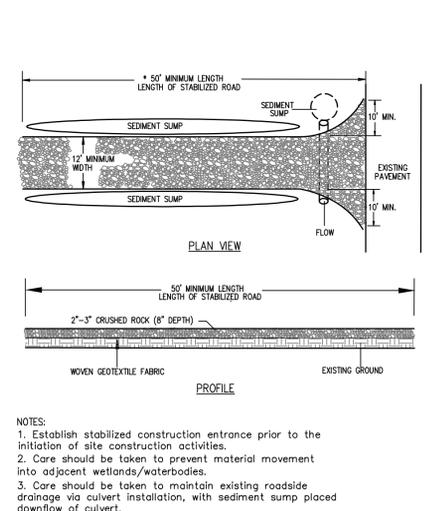
S51 SILT FENCE



E9 MULCH BLANKETS



S53 STABILIZED CONSTRUCTION ACCESS



DESIGNED BY: ADAMS, MARK 3/27/2015 12:28 PM
APPROVED BY: JONES, MICHAEL
CHECKED BY: JONES, MICHAEL
PLOTTED BY: ADAMS, MARK 3/27/2015 12:28 PM
PROJECT: 120108, Marsh Hall Parking Lot Site Plan (120107 - 10000) - SESC DETAILS
DATE: 3/27/2015



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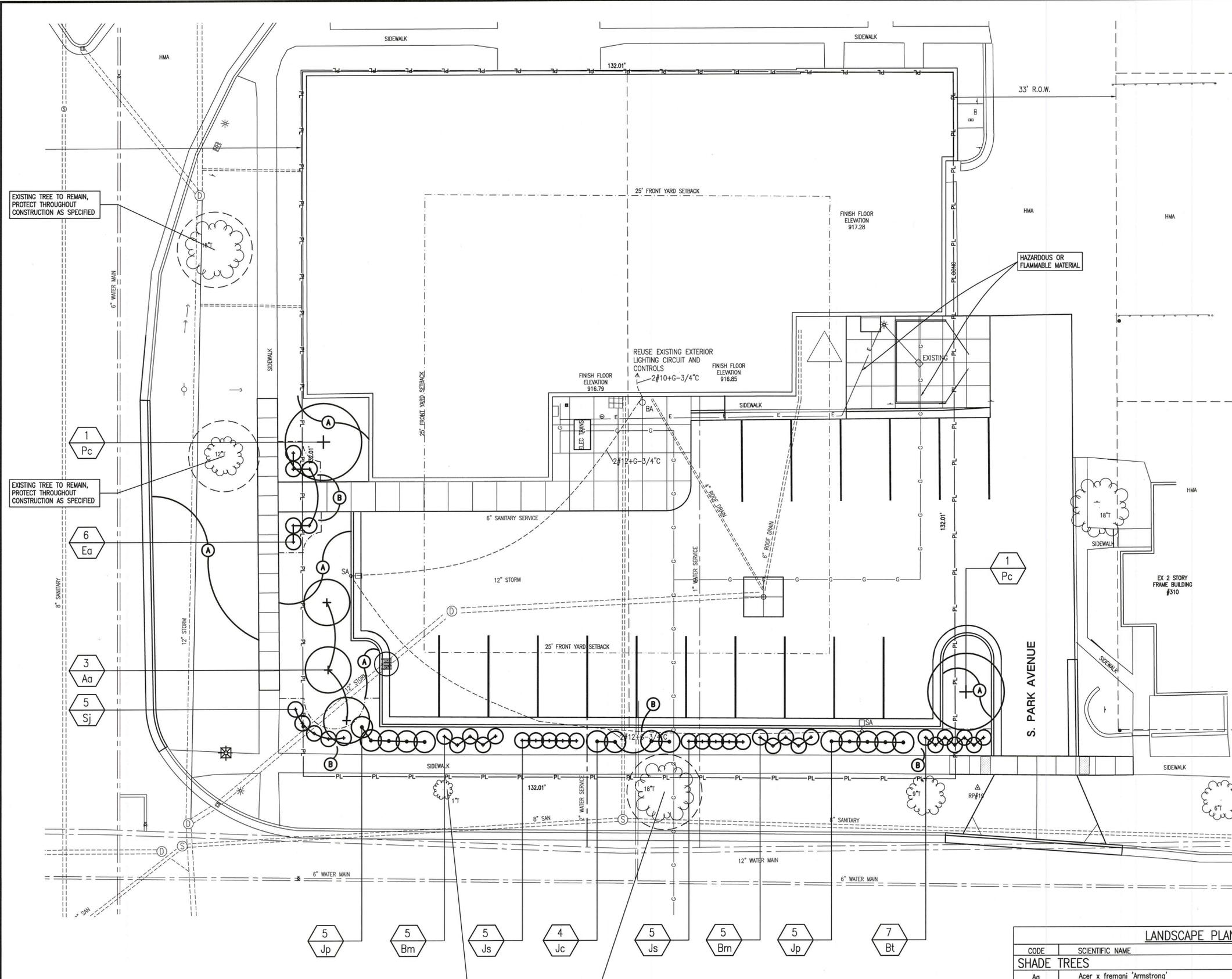
CITY OF MARSHALL
MARSHALL CITY HALL PARKING LOT
523 WEST MICHIGAN AVENUE

SESC DETAILS

REVISIONS table
SCALE: AS SHOWN
PROJ. #: 120108
DATE: 3/27/2015
SHEET
C-503
SITE PLAN REVIEW



DESIGNED BY: ADAMS MARK 3/27/2015 2:28 PM  
 CHECKED BY: DAVIS RAYMOND 3/27/2015 10:02 AM  
 APPROVED BY: DAVIS RAYMOND 3/27/2015 10:02 AM  
 PLOTTED BY: ADAMS MARK 3/27/2015 2:28 PM  
 FILE NAME: C:\Users\adamsm\OneDrive\Documents\Projects\120109\_120109\_LandscapePlan.dwg  
 C:\Users\adamsm\OneDrive\Documents\Projects\120109\_120109\_LandscapePlan.dwg  
 WE RECYCLE



N  
 SITE BENCHMARK ELEVATION 916.86  
 TOP OF BIG ARM OF HYDRANT AT THE  
 SOUTHEAST CORNER OF S KALAMAZOO  
 AVENUE AND W GREEN STREET.

REFERENCE POINTS	ELEVATION
17 N281856.07	E12961856.82
18 N281758.44	E12961647.20
19 N281602.75	E12961832.96

THE SITE SURVEY IS ON THE MICHIGAN STATE PLANE  
 SYSTEM (NAD 83)

20 10 0 20 40 FEET

- ### GENERAL NOTES
- ALL AREAS DISTURBED BY CONSTRUCTION, NOT BUILT, PAVED OR OTHERWISE COVERED BY CONSTRUCTION, SHALL BE HYDRO-MULCH SEEDING AT THE FOLLOWING RATE AND MIXTURE:  
 RATE = 6 LBS PER 1000 SFT  
 25% PARK KENTUCKY BLUEGRASS  
 15% PENNLAWN CREEPING RED FESCUE  
 15% PENNFINE PERENNIAL RYE GRASS  
 20% RUGBY KENTUCKY BLUEGRASS  
 25% BARRIF OR BRONCO KENTUCKY BLUEGRASS  
 \* WEED SEED SHALL NOT EXCEED 0.35% BY WEIGHT IN THE TOTAL AMOUNT SUPPLIED
  - ALL DECIDUOUS AND EVERGREEN SHRUB BEDS SHALL HAVE A SPADED EDGE AND INCLUDE 4" (MINIMUM) SHREDDED BARK MULCH - BROWN, TYPICAL.
  - REFER TO SPECIFICATION FOR INSTALLATION, MAINTENANCE AND GUARANTEE REQUIREMENTS
  - CONTRACTOR SHALL FIELD STAKE ALL PLANT LOCATIONS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST FINAL PLANT LOCATION.
  - UTILITIES SHOWN ARE APPROXIMATE, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION
  - LANDSCAPE CONTRACTOR SHALL COORDINATE REQUIREMENTS AND CONSTRUCTION FEATURES OF ALL ADJACENT WORK BY OTHERS.
  - ALL AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE RETURNED TO A CONDITION EQUAL TO, OR BETTER THAN EXISTED PRIOR TO CONSTRUCTION.

### LEGEND

- DECIDUOUS TREE OR SHRUB
- EVERGREEN SHRUB
- 6" ALUMINUM LANDSCAPE EDGING WITH 18" STAKES.
- LAWN ESTABLISHMENT, SEE NOTE #1, THIS SHEET
- MULCH BED, SEE NOTE #2, THIS SHEET

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	NOTES
<b>SHADE TREES</b>					
Aa	Acer x fremani 'Armstrong'	Armstrong Red Maple	3	2.5" Cal	B & B, Matched
<b>ORNAMENTAL TREES</b>					
Pc	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2	2.5" Cal	B & B
<b>DECIDUOUS SHRUBS</b>					
Bm	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	10	2 Gal	plant on 3'-6" o.c.
Bt	Berberis thunbergii f. atropurpurea 'Rose Glow'	Japanese Barberry	7	18"	B & B
Ea	Eunoymus alata 'Compactus'	Burning Bush	6	24"-36"	B & B
Sj	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spirea	5	5 Gal	plant on 2'-0" o.c.
<b>EVERGREEN SHRUBS</b>					
Jc	Juniperus x chinensis 'Gold Coast'	Gold Coast Juniper	4	24"	B & B
Jp	Juniperus x pfitzeriana 'Sea Green'	Chinese Juniper	10	24"	B & B
Js	Juniperus squamata 'Blue Star'	Blue Star Juniper	10	4 Gal	plant on 3'-0" o.c.



CITY OF MARSHALL  
 MARSHALL CITY HALL PARKING LOT  
 323 WEST MICHIGAN AVENUE

PROPOSED LANDSCAPE PLAN

REVISIONS

SCALE: 1" = 10'  
 PROJ.#: 120108  
 DATE: 3/27/2015  
 SHEET  
 L-100

SITE PLAN REVIEW







March 19, 2015

John Harvey  
C2AE  
725 Prudden Street  
Lansing, MI 48906

**Re: Site plan #SP15.03 Marshall City Hall, 323 W. Michigan Ave.**

The City's review team met on Thursday, March 19<sup>th</sup>, to discuss and review the site plan for the demolition and parking lot expansion of City Hall. There were a few changes requested during this review:

Revisions

- Increase south parking lot setback along Green Street. Ordinance requires 10' from the face of the curb to the lot line.
- Increase west parking lot setback along Michigan Avenue to 10' from the face of the curb to the lot line. Maintain the vehicle maneuvering area but this also must be 10' from the lot line.
- Increase parking spaces to 10' wide. (Tom's request)
- Re-grade slope of driveway. (Tom's request)
- Indicate location of light poles on the site and clarify that the height will be no more than 20'.
- Indicate the location of underground electric service to building.
- Indicate the path of new electric underground line that will be supplying the light poles.
- Correct C-101 (demo plan). This shows the demolition of the office area.
- Proposed landscape for the site does not meet ordinance requirements:
  - Island to the southeast: In addition to proposed deciduous, needs 1 ornamental tree. Will need to consider sight allowance for traffic pulling out.
  - For 10' allowance on west setback, redesign landscape. This area requires at least 1 deciduous tree and 4 shrubs; however, this area could accommodate more and possibly make up for what cannot be placed to the south.
  - Substitute arbor vitae for another species site wide.
  - Greenbelt planting requirements along south setback, evaluate the possibility of using a hedgerow according to 156.304 (B) to meet parking lot screening standards.

Public Service Building  
900 S. Marshall Ave.  
Marshall, MI 49068

P:269.781.3985 x.1505

[cityofmarshall.com](http://cityofmarshall.com)

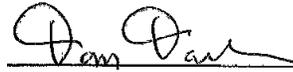
The deadline for final submittal of the revised site plan is set for Tuesday, March 31, 2015 at 1:00 pm. Upon the receipt of these materials, you will be placed on the Planning Commission agenda for Wednesday, April 8, 2015, 7:00 p.m. at City Hall.

A representative for the plan from C2AE should be available at that meeting. Please call or email if you should have any questions.

Sincerely,



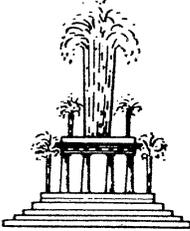
Natalie Dean  
Director of Community Services



Tom Tarkiewicz  
City Manager

Cc: Steve Jurczuk, C2AE

**City of Marshall**  
**Application for Site Plan Review**



Attn: Planning & Zoning Administrator  
323 W Michigan Ave.  
Marshall, Michigan 49068

Official Use:

Date Received: 3/3/15 Received by: ND Approved X  
Application Complete: X Fee Paid: — Receipt Number: —

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

**1. Applicant Information**

Address of Property being developed: 323 West Michigan Avenue

Owner of Property: City of Marshall

Address: 323 W. Michigan Avenue City: Marshall State: MI Zip: 49068

Email: ttarkiewicz@cityofmarshall.com Telephone: (269) 781 - 5183 Cell: (269) 781 - 3835

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**2. Owner's Agent if working for property owner.**

Title: Project Manager (C2AE) Name: John Harvey, PE

Address: 725 Prudden Street City: Lansing State: MI Zip: 48906

Email: john.harvey@c2ae.com Telephone: (517) 371 - 1200 Cell: (517) 712 - 0766

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**City of Marshall**  
**Application for Site Plan Review**

**3. Brief description of proposed project**

Demolition of existing the Fire Station and construction of an expanded and improved parking lot for the existing City Hall.

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**4. Property Information**

Zoning District: POSD Are there wetlands present? Yes \_\_\_ or No X

Is the property located in a floodplain? Yes \_\_\_ or No X

Land Area in square feet: 23,294 sft Building Area in square feet:

6,800 sft

Number of Square feet of paved areas: 15,333 sft

Is there a lake or stream within 500 feet of the subject property: Yes \_\_\_ or No X

Number of parking spaces: Existing 20 or Proposed 26

Has any other agency been contacted for approvals? Yes \_\_\_ or No X. If yes, please list those agencies and the date:

Agency	Contact	Date
_____	_____	_____
_____	_____	_____

**5. Site Plan Submission Requirements (Review Zoning Ordinance for all requirements)**

1. Complete the Application.
2. Review and follow the Site Plan Review checklist.
3. Go to [www.cityofmarshall.com](http://www.cityofmarshall.com) - Planning and Zoning and click on Marshall City Code of Ordinances and then type in "156".
4. Submit a certified survey of the property with the site plan.
5. Submit a copy of the deed showing ownership.

**City of Marshall  
Application for Site Plan Review**

**6. Authorization (Must be signed by the owner of the property)**

I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Thomas W Tarkiewicz  
 Title: City Manager Date: 3/4/15  
 Signature: [Handwritten Signature]

**Note:** If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
<b>PLATS</b>	
Up to 30 Lots	\$450.00
Over 30 Lots	\$650.00
<b>SITE CONDOMINIUMS</b>	
Up to 30 Lots	\$350.00
Over 30 Lots	\$550.00
<b>SITE PLANS</b>	
Commercial and Industrial	\$250.00 < 30 acres \$350.00 - 30 acres or more
Institutional	\$250.00
Special Land Use	\$250.00
Planned Unit Development (PUD)	\$350.00
Amend a PUD development	\$150.00
Multiple Family Developments (Apartment & Condo's)	\$50 plus \$5.00 per unit or lot minimum fee \$250.00
Additions to existing Site Plans if Planning Commission Review is required	\$100.00
Extending Site Plan with Planning Commission approval	\$150.00

# CITY OF MARSHALL

## Site Plan Review Checklist for General Development

Date: June 24, 2013

Zoning District POSD

Proposed Use: City Hall Parking Lot

Is this a Permitted Use?  Yes  No  
If yes list section number: \_\_\_\_\_

Is the property in the Well Head Protection Area?  Yes  No  
 NA

Property Address: 323 West Michigan Avenue

### Information of Responsible Party that prepared plans

Name: John Harvey, PE, LEED AP BD+C

Company Name: C2AE

Company Address: 725 Prudden Street

Lansing, MI 48906

\_\_\_\_\_

**Report To:** Chairman Davis and Planning Commission Members  
**From:** Natalie Dean, Director of Community Services  
**Subject:** Taco Bell, 15955 W. Michigan Avenue  
**Meeting Date:** April 8, 2015

## **SITE PLAN REVIEW**

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**Case #:** Site Plan #SP15.01  
**Zoning District:** B-4 Regional Commercial District  
**Adjacent Zoning:** Surrounded by B-4 completely  
**Parcel(s):** 002-593-00  
**Variances:** In 1992, Case#92-3 for a dimensional variance was approved for relief from setbacks for new construction in regard to the south right of way on W. Michigan Ave. The variance allowed construction at 37' from the street right of way rather than the required 60'. Current variances to be heard on ~~March 19, 2015~~ April 16, 2015.  
**Proposed Use:** Use remains consistent- fast food restaurant

### **FINAL PLAN**

Staff received an initial site plan for the rebuild of Taco Bell at 15955 W. Michigan Avenue on January 30, 2015. A city staff review was held on February 5, 2015 to discuss the plan and suggest revisions; the Architect for this project attended this meeting. Following the meeting, revisions to the plan not requiring a variance included lowering of the light poles to 20', providing clarification on the traffic flow throughout the site, showing masonry intended for the façade and providing the percentages of landscaped areas site-wide.

There are also items proposed on the site plan that did not conform to City zoning ordinances. Staff discussed these items with the Architect. Due to lack of quorum, the March 20<sup>th</sup> ZBA meeting was cancelled and the Architect was told that the variances would be rescheduled for the April 16<sup>th</sup> ZBA meeting (due to re-noticing requirements). **Since the project is being delayed, the owner is asking that the Planning Commission review the site plan and consider approval, contingent upon the variances being approved.**

The variances requested are:

### **(A) INCREASE IN PARKING SPACES**

#### **§ 156.324 MINIMUM NUMBER OF SPACES REQUIRED**

- (B) *Maximum number of spaces permitted.* To minimize excessive areas of pavement that contribute to higher rates of stormwater runoff, exceeding the minimum parking space requirements of this section by more than 20% shall be prohibited.

For this particular development, 25 spaces would be allowed, with a 20% increase, making the total allowable spaces 30 spaces. **They are requesting an increase of 5 spaces for a total of 35 parking spaces.**

### **(B) PARKING LOT SETBACKS**

#### **§ 156.323 GENERAL REGULATIONS**

- (I) *Setbacks.* No part of any off-street parking area shall be closer than ten feet to any street right-of-way line or the lot boundary of any residential, school, hospital, or other institutional use.

The applicant has proposed a 2' setback to the west, 2' to the east, and 0' at the north boundary. While the boundaries in question do not abut a street right of way or any of the uses listed in the ordinance in order to enforce this requirement, the purpose of this requirement contributes to the ability to meet multiple other ordinances including barrier, landscaping, and screening obligations. Landscaping and screening requirements are addressed in the same variance application, but barrier requirements for the district are not and should be kept in mind.

#### **B-4 REGIONAL COMMERCIAL DISTRICT**

##### **§ 156.133 DEVELOPMENT REQUIREMENTS.**

To ensure compatibility with the intent and purpose of the B-4 (Regional Commercial) District, all uses and principal and accessory buildings and structures in the district shall be subject to the following development requirements:

- (A) **Barriers.** All development in the B-4 District shall be physically separated from the feeder road by a curb and planting strip or other suitable barrier designed to limit vehicle ingress and egress to planned access points.

#### **(C) LOADING SPACE**

##### **§ 156.328 LOADING SPACE REQUIREMENTS.**

- (C) Loading spaces shall not be provided in the front yard, the front side of any building, or on any side facing and directly visible to a public street, unless the Planning Commission determines such a location is necessary due to the building's location or placement or existing street patterns.

##### **§ 156.323 GENERAL REGULATIONS**

- (J) *Loading spaces.* Loading spaces shall not be construed as supplying off-street parking space.

The loading space is currently placed in a front yard, as well as overlapping with drive-thru stacking spaces.

#### **(D) LANDSCAPING**

##### **§ 156.304 METHODS OF SCREENING.**

One or more of the following screening options shall be required on land abutting city street rights-of-way, and where otherwise required by this chapter for screening purposes. The Planning Commission may also require one or more of the following screening methods to be used to screen or separate unlike land uses or to otherwise meet the intent of this subchapter or chapter:

- (B) *Hedgerow.* Where headlights from parked vehicles will shine into the roadway, the Planning Commission may require use of a totally obscuring hedge with a minimum height of 24 inches and a maximum height of 36 inches.
- (E) *Evergreen screen or buffer strip.* A buffer strip may be required where a use abuts residential or other less intensive uses. The intent of the buffer strip is to have a minimum five foot high obscuring area alongside or rear lot lines, and an appropriate landscaped strip along front lot lines. A buffer strip shall meet the following requirements:
  - (1) Minimum width of ten feet.
  - (5) Street trees. On every site involving new development or redevelopment, deciduous street trees shall be provided along the fringe of the street right-of-way in conformance with § 99.06 of this code of ordinances.

##### **§ 156.306 INTERIOR LANDSCAPING.**

For every new development, except single-family detached dwellings and any use in the MHPD (Manufactured Housing Park) District or B-3 (Neighborhood Commercial) District, interior landscaping areas exclusive of any other required landscaping shall be provided, consisting of at least 5% of the total lot area. This landscaped area should be grouped near building entrances, along building foundations, along pedestrian walkways, and along service areas. All interior landscaping shall conform to the following:

- (C) The interior landscaping area shall contain grass or other suitable living groundcover.

### **§ 156.307 PARKING LOT LANDSCAPING.**

The following standards shall apply to all proposed parking lots with ten or more parking spaces, any existing parking lot containing ten or more parking spaces that is proposed to be expanded, and any existing parking lot on an existing site subject to Planning Commission review of a site plan per §§ 156.380 et seq.:

(B) *Landscaping within parking lots.* Landscaping shall be provided and maintained within off-street parking lots, as follows:

- (1) At least one deciduous tree and one ornamental tree with at least 100 square feet of planting area shall be provided for each ten parking spaces, in addition to any other landscaping requirements.

The Taco Bell parcel is .6 of an acre and therefore, does not require a Landscape Architect to stamp the plans. Since talking with the Planning Commission at the March meeting, the Architect has sent a revised Landscape plan. Changes on this plan include:

- 2 less evergreens, removed from the northwest island
- 5 less shrubs, removed from the northwest island and from the south parking line
- Crimson Maples have replaced the former Colorado Spruce to the west of the building

According to §156.391, Standards for Site Plan Approval, the Planning Commission shall consider the following standards during review:

**(A) Adequacy of Information.**

*The information on the site plan being disseminated is the most current plan. The information is complete, and legible.*

**(B) Site Appearance and Preservation.**

*As an existing commercial site, there wasn't much to preserve. Two trees on the site will be preserved.*

**(C) Pedestrian Access.**

*There is a walkway proposed to the north and east of the building.*

**(D) Vehicular Circulation.**

*There are no new driveways being proposed.*

**(E) Parking and Loading.**

*The proposed parking spaces meet ordinance requirements for size; however, the owner is asking to add 5 spaces beyond what the ordinance allows. The current site provides the 35 spaces the owner is requesting.*

**(F) Building Composition.**

*The proposed building is one of the new prototypes for the Taco Bell Restaurant. The general "look" of the restaurant will be updated.*

**(G) Screening.**

*There have been no new proposed screening mechanisms for this site; this is the subject of a variance request.*

**(H) Exterior Lighting.**

*Lighting will be provided in the parking lot from 20' poles.*

**(I) Impact upon Public Services.**

*City utility staff feel that utility plans and loads for this site will be manageable.*

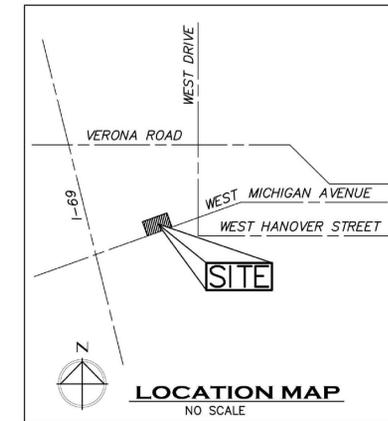
The existing Taco Bell site:



**Fire Protection Notes**

1. Shop dwg's & cut sheets for the hood fire suppression system & alarm system must be submitted for review and approval to the Allegan Charter Twp. Fire Dept.
2. A fire dept. lock box must be installed on the Bldg.
3. Keys for all exterior & interior doors must be given to the fire inspector at the final inspection to be locked inside the fire dept. lock box.
4. Verify location and type of Fire extinguisher with Fire Inspector

PROPOSED NEW BUILDING FOR:  
**TACO BELL #5047**  
 CHICAGO DIVERSIFIED FOODS CORP.  
 400 E. 22ND STREET SUITE E  
 LOMBARD, IL 60148  
 ATTN. MIKE BASILE  
 WORK:630.889.1818  
 CELL:616.437.2908



**GENERAL NOTES**

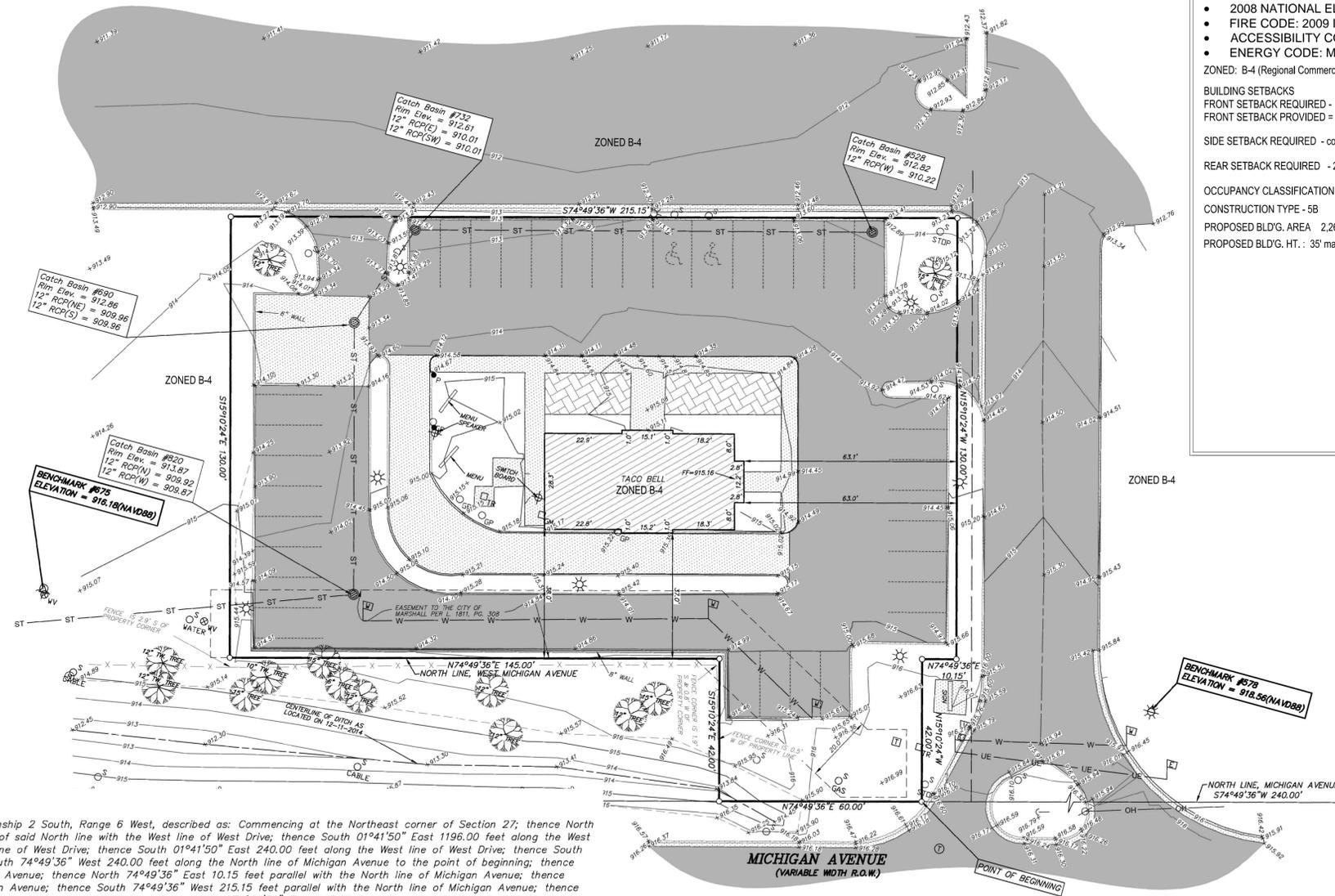
1. Utility locations are derived from actual measurements or available records. They should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
2. NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
3. Easement, boundary lines, and boundary description shown hereon were taken from previous Nederveid project number 0610003, dated January 4, 2006; easements and parcel boundary lines were not reviewed at the time of this survey.

**SITE BENCHMARKS**

**BENCHMARK #578 ELEVATION** ----- 918.56 (NAVD88)  
 Set "square" benchmark in NNW side of concrete light pole base 3'± above grade at the Southwest corner of parking lot of Monarch Community Bank on the West line of the asphalt extended South 2'±.

**BENCHMARK #675 ELEVATION** ----- 916.18 (NAVD88)  
 Set benchmark on the SW flange bolt above the "W" in "WATEROUS" 1.5'± above grade at the SE corner of the K-Mart parking lot 62'± W of the back of curb for Taco Bell parking lot & 22' N of right-of-way fence.

**BENCHMARK #822 ELEVATION** ----- 924.43 (NAVD88)  
 Benchmark from NGS Datasheet designation L335; 12.6 miles Westerly along Austin and Michigan Avenues from 0.35 miles North of the Post Office in Albion. 83'± East of the centerline I-69 Northbound Lanes & 19.4' South of the center of Michigan Avenue. (OFF-SITE)



**BUILDING DATA**

2009 INTERNATIONAL BUILDING CODE – PLUS H.P. AMENDMENTS  
 MICHIGAN BUILDING CODE - AMENDMENTS, 2009

- 2009 MICHIGAN BUILDING CODE
- 2009 MICHIGAN PLUMBING CODE
- 2009 MICHIGAN MECHANICAL CODE
- 2008 NATIONAL ELECTRICAL CODE
- FIRE CODE: 2009 IFC
- ACCESSIBILITY CODE: 2009 MBC & 2003 ANSI 117.1
- ENERGY CODE: MICHIGAN UNIFORM ENERGY CODE

ZONED: B-4 (Regional Commercial)

**BUILDING SETBACKS**  
 FRONT SETBACK REQUIRED - 20'  
 FRONT SETBACK PROVIDED = 28' min.

SIDE SETBACK REQUIRED - considered Front setback per lot design see above

REAR SETBACK REQUIRED - 25' REAR SETBACK PROVIDED = 79'

OCCUPANCY CLASSIFICATION: A-2 Assembly  
 CONSTRUCTION TYPE - 5B  
 PROPOSED BLD'G. AREA 2,261 S.F.  
 PROPOSED BLD'G. HT. : 35' max.

**TITLE/SITE**

T100 SITE LOCATION MAP, SHEET INDEX, BUILDING DATA, EXIST. SITE PLAN, EXIST. ZONING PLAN

**CIVIL**

D1.0 DEMOLITION SITE PLAN  
 C1.0 SITE PLAN  
 C2.0 UTILITY SITE PLAN  
 C103 SITE DETAILS  
 C104 SITE DETAILS  
 L100 LANDSCAPE SITE PLAN  
 PH1.0 SITE PHOTOMETRIC PLAN

**ARCHITECTURAL**

A1.0 FLOOR PLAN  
 A2.0 EQUIPMENT AND SEATING PLAN  
 A4.0 EXTERIOR ELEVATIONS

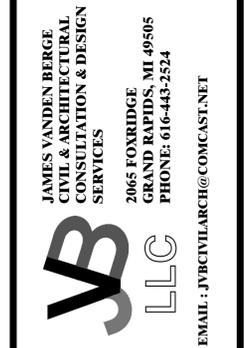
**DESCRIPTION**

DESCRIPTION: A parcel of land in the Northeast Quarter of Section 27, Township 2 South, Range 6 West, described as: Commencing at the Northeast corner of Section 27; thence North 89°40'25" West 70.04 feet along the North Section line to the intersection of said North line with the West line of West Drive; thence South 01°41'50" East 1196.00 feet along the West line of West Drive; thence South 88°18'10" West 5.00 feet along the West line of West Drive; thence South 01°41'50" East 240.00 feet along the West line of West Drive; thence South 46°02'00" West 71.98 feet to the North line of Michigan Avenue; thence South 74°49'36" West 240.00 feet along the North line of Michigan Avenue to the point of beginning; thence North 15°10'24" West 42.00 feet perpendicular to the North line of Michigan Avenue; thence North 74°49'36" East 10.15 feet parallel with the North line of Michigan Avenue; thence North 15°10'24" West 130.00 feet perpendicular to the North line of Michigan Avenue; thence South 74°49'36" West 215.15 feet parallel with the North line of Michigan Avenue; thence South 15°10'24" East 130.00 feet perpendicular to the North line of Michigan Avenue to said North line; thence North 74°49'36" East 145.00 feet along the North line of Michigan Avenue; thence South 15°10'24" East 42.00 feet along the North line of Michigan Avenue; thence North 74°49'36" East 60.00 feet along the North line of Michigan Avenue to the point of beginning.

Together with a non-exclusive easement for ingress, egress and utilities as created, limited and defined in instruments recorded in Liber 1227, page 976, Liber 1549, page 365 and Liber 1559, page 897.

(From First American Title Insurance Company Commitment Number 129987, dated December 27, 2005)

**1**  
**T100** EXISTING SITE PLAN  
 SCALE: 1" = 30'-0"



**TACO BELL #5047**  
**CHICAGO DIVERSIFIED FOODS CORP.**  
 15955 W MICHIGAN AVE  
 CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN



DRAWN BY: JVB  
 CHECKED BY: JVB  
 PROJECT NUMBER: 014028

**T100**



1 SOUTH EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



2 NORTH EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



4 WEST EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"

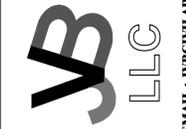


3 EAST EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



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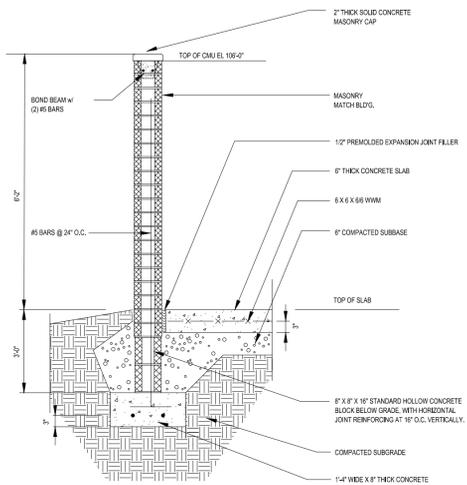
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A4.1



- GENERAL NOTES:**
- THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS, INCLUDING THE CONTRACTORS, SUBCONTRACTORS, AND MANUFACTURERS SHOP DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL CORRECTIONS HAVE BEEN MADE.
  - CONSTRUCTION SHALL COMPLY WITH ALL CODES, STANDARD BUILDING PRACTICES AND REGULATIONS OF GOVERNING AUTHORITIES. CONTRACTOR SHALL NOTIFY MISS DIG PRIOR TO THE START OF CONSTRUCTION.
  - DRAWINGS:** ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS IF INCLUDED. CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. THE OWNER SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. **DO NOT SCALE DRAWINGS.**
  - COMPLETENESS:** ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT. IN THE CASE OF CONFLICTING QUANTITIES / VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
  - PERMITS:** EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABORERS, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINER COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PERMITS OR ADDENDA TO THE ARCHITECT.
  - DOCUMENTATION:** THE CONTRACTOR SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
  - AT COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE CONTRACTOR WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS RELATED TO THEIR WORK CATEGORY AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT, THAT THE WORK IS COMPLETE ACCORDING TO ALL CONTRACT DOCUMENTS, AND THE CORRECTIONS TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVER SAME TO THE ARCHITECT.
  - DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCE, LAWS, CODES, RULES OR REGULATIONS GOVERNING THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR ARCHITECT.

- FIELD MEASURE AND VERIFY OR REVISE DIMENSIONAL INFORMATION TO THE EXTENT REQUIRED TO EXECUTE THE WORK REQUIRED ON THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF EXISTING CONDITIONS INVALIDATE THE DRAWING OR WHEN QUESTIONS ARISE REGARDING THE INTENT OF THE DRAWINGS.
- UNLESS INDICATED OTHERWISE, F.L.R. MAT'L CHANGES SHALL OCCUR BENEATH DOORS OR THRESHOLDS.
- WHERE OPENINGS IN INTERIOR PARTITIONS OCCUR (INCLUDING DOORS AND WINDOWS), CONSTRUCTION ABOVE OPENINGS SHALL MATCH ADJ. CONSTRUCTION IN FINISH AND FIRE RATING.
- GENERAL CONTRACTOR IS TO VERIFY LOCATION OF ALL EMERGENCY AND EXIT LIGHTS WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
- MECHANICAL AND ELECTRICAL CONTRACTORS MUST COORDINATE WITH OTHER TRADES TO ASSURE COMPATIBILITY INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
  - STRUCTURAL LOADING
  - POWER REQUIREMENTS
  - CLEARING FOR INSTALLATION & MAINTENANCE
 MECHANICAL AND ELECTRICAL CONTRACTORS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES & ALL APPLICABLE MUNICIPAL AND OTHER GOVERNMENTAL APPROVALS.
- MECHANICAL SCOPE, FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
  - HEATING AND COOLING REQUIREMENTS
  - AIR HANDLING UNIT(S)
  - FIRE PROTECTION SYSTEM(S)
  - PLUMBING SYSTEM
  - TEMPERATURE CONTROL SYSTEM
  - SUPPLY DIFFUSERS, RETURN AIR GRILLS
  - DUCTWORK, PIPING & INSULATION
  - FIRE AND EXHAUST DAMPERS
 ELECTRICAL SCOPE: LIGHTING SYSTEM SHALL BE PROVIDED TO MAINTAIN LIGHT CONSISTENT WITH CURRENT IES STANDARDS. FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
  - CONDUIT
  - WRNG
  - PANELS
  - TRANSFORMERS
  - SWITCHES
  - RECEPTACLES
  - COMMUNICATION
  - EXIT SIGNS
  - SMOKE DETECTORS
  - LIGHT FIXTURES

- LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON THIS SITE WHICH ARE NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL UTILITIES ON SITE, WHETHER SHOWN ON THIS PLAN OR NOT.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURVEY AS PART OF THIS WORK.
- CONTRACTOR SHALL PROVIDE ALL SIGNS, FENCING, LIGHTS, BARRICADES, ETC. NECESSARY TO PROVIDE FOR PUBLIC SAFETY DURING CONSTRUCTION.
- EARTHWORK CONTRACTORS SHALL COMPLY AND BE RESPONSIBLE FOR BERMING AND FILTERING OF PROPERTY LINES WHERE EROSION COULD OCCUR. MINIMIZATION OF TRACKING OF MATERIALS OFF-SITE, SWEEPING AND CLEANING OF ADJACENT STREETS AS NECESSARY, AND OBTAINING SOIL EROSION CONTROL PERMITS.
- REQUEST FOR CONSTRUCTION STAKING SHALL BE DIRECTED TO THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THEIR ACTUAL NEED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR THE PROTECTION AND/OR RELOCATION OF EXISTING UTILITIES.
- ALL CONSTRUCTION SHALL BE SUBJECT TO CONSTRUCTION INSPECTION BY OWNER OR THEIR REPRESENTATIVE.
- ALL MATERIALS PLACED DURING CONSTRUCTION SHALL BE IN NEW CONDITION, SHALL BE FREE FROM DEFECTS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE.
- THE CONTRACTOR SHALL CONNECT THE ROOF DRAINS TO THE ON SITE STORM SEWER SYSTEM.

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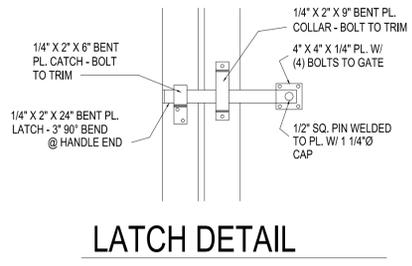


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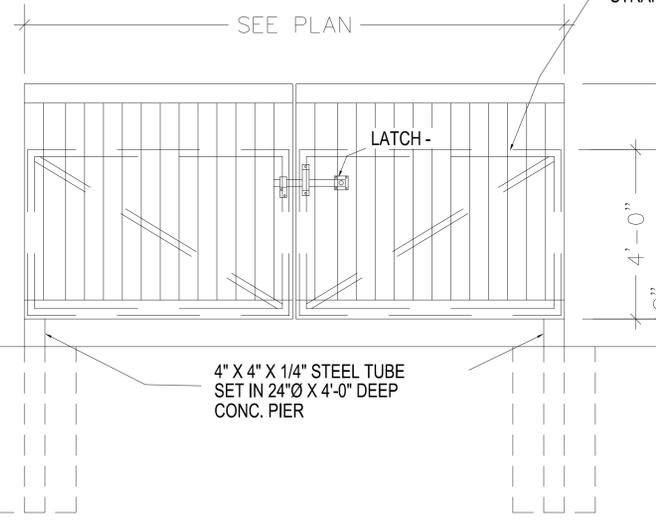
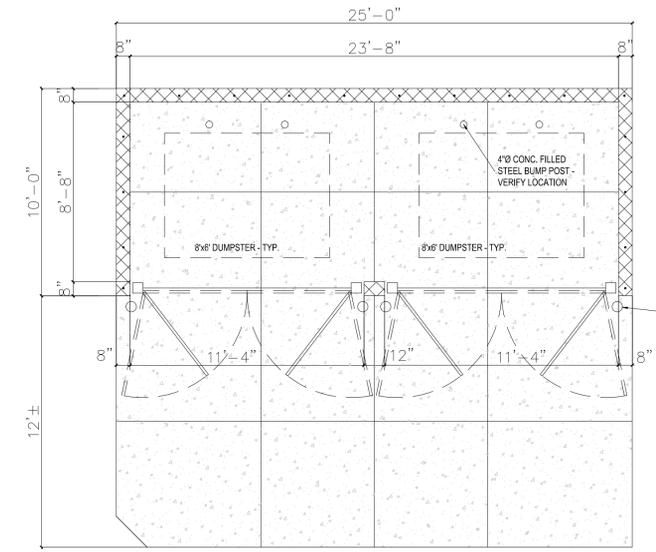
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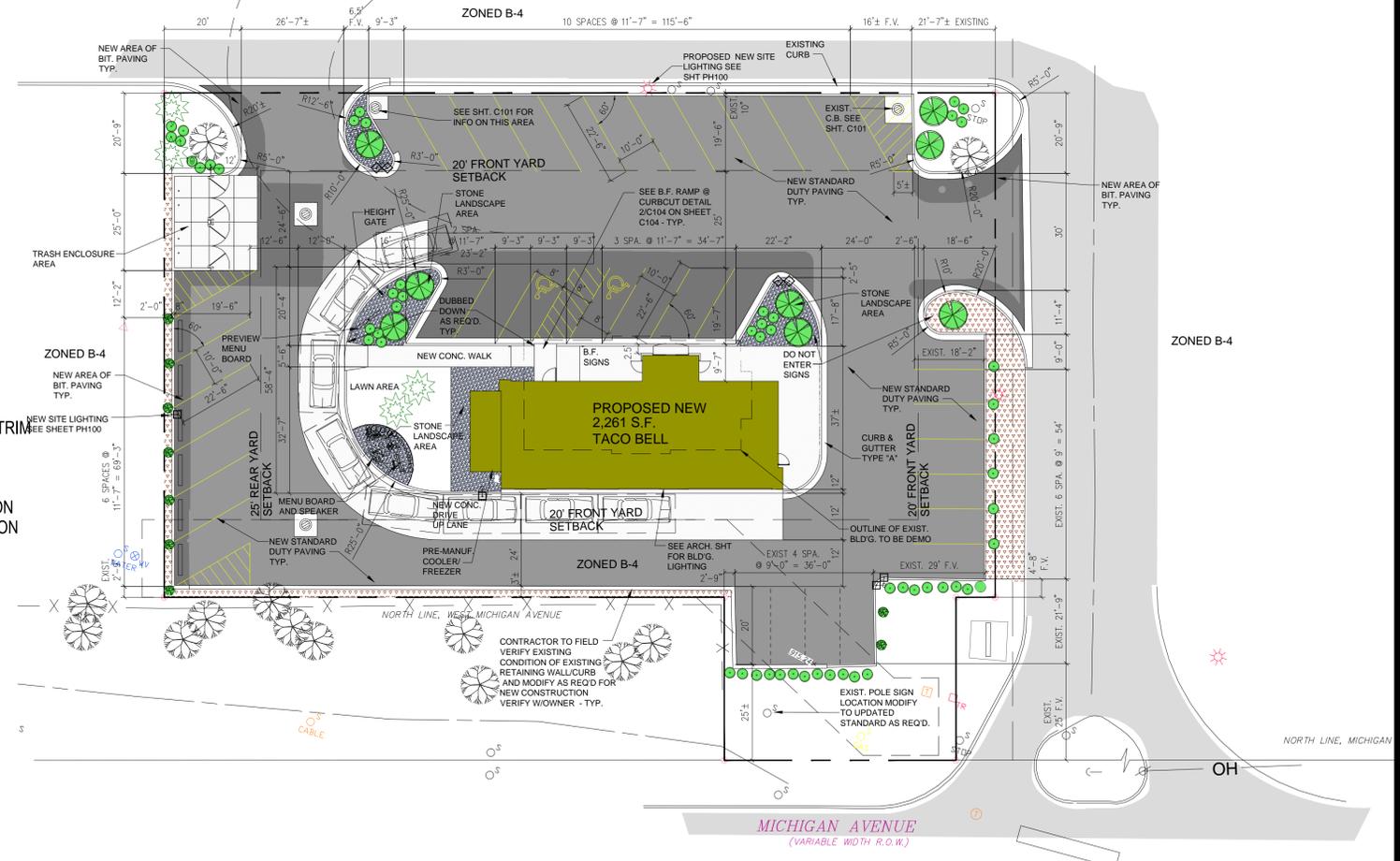
**C1.0**



**LATCH DETAIL**



**2**  
**C1.0** **DUMPSTER DETAILS**  
 SCALE: NO SCALE



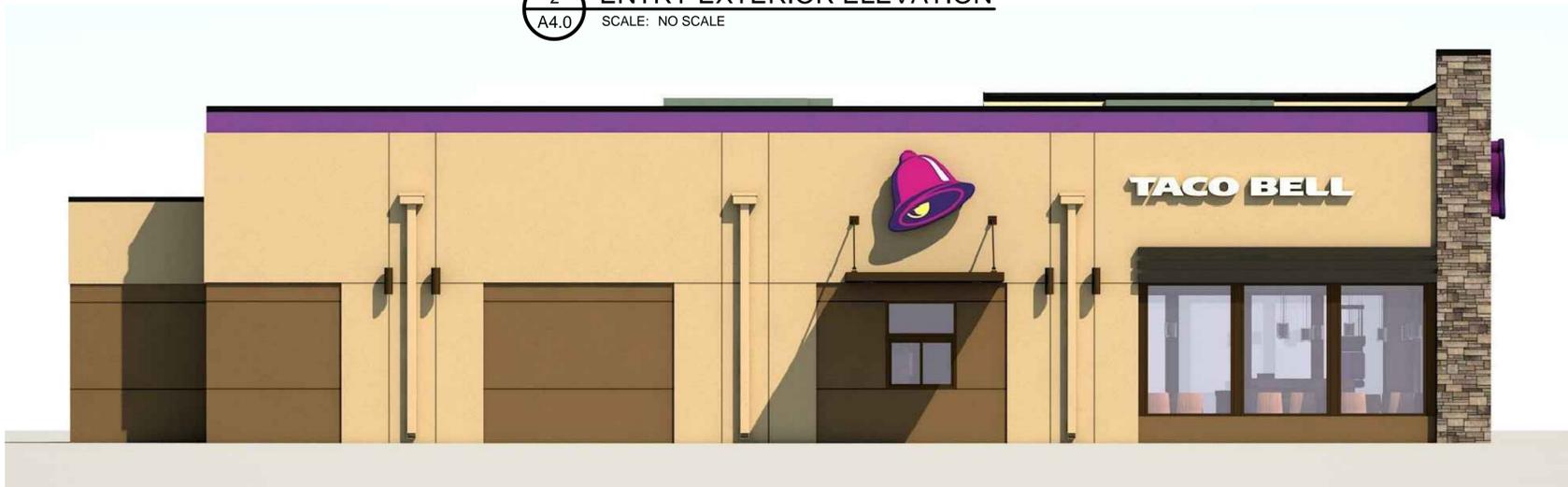
**1**  
**C1.0** **SITE PLAN**  
 SCALE: 1" = 20'-0"



2 ENTRY EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



1 FRONT EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



4 DRIVE THRU EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



3 REAR EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



**RDC**

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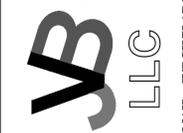
**R1.0**



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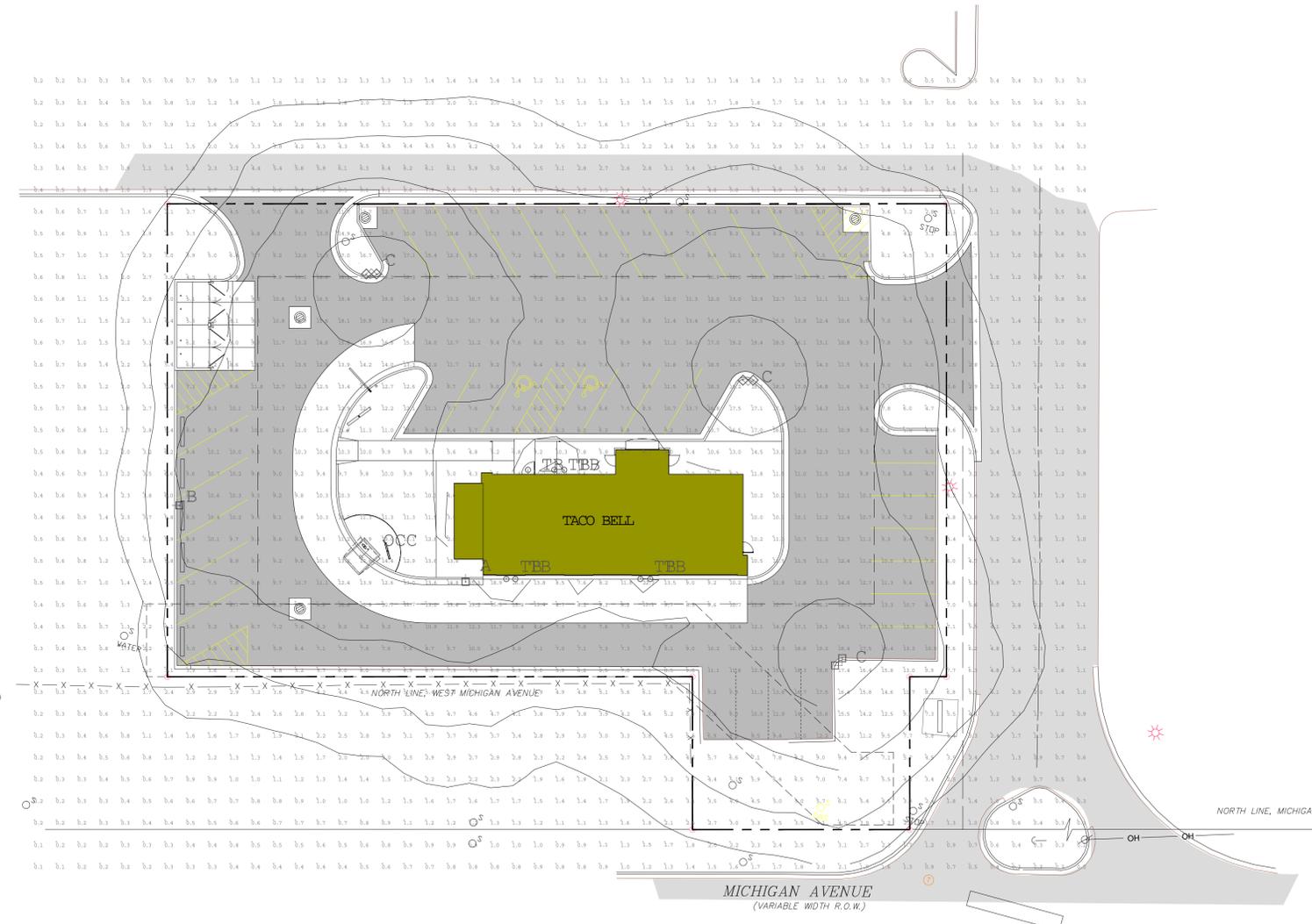
**PHO.1**

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	5.50	26.8	0.1	55.00	268.00
DRIVE-THRU LANE SURFACE	12.14	26.8	7.6	1.60	3.53
PARKING LOT SURFACE	10.05	19.9	3.6	2.79	5.53

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

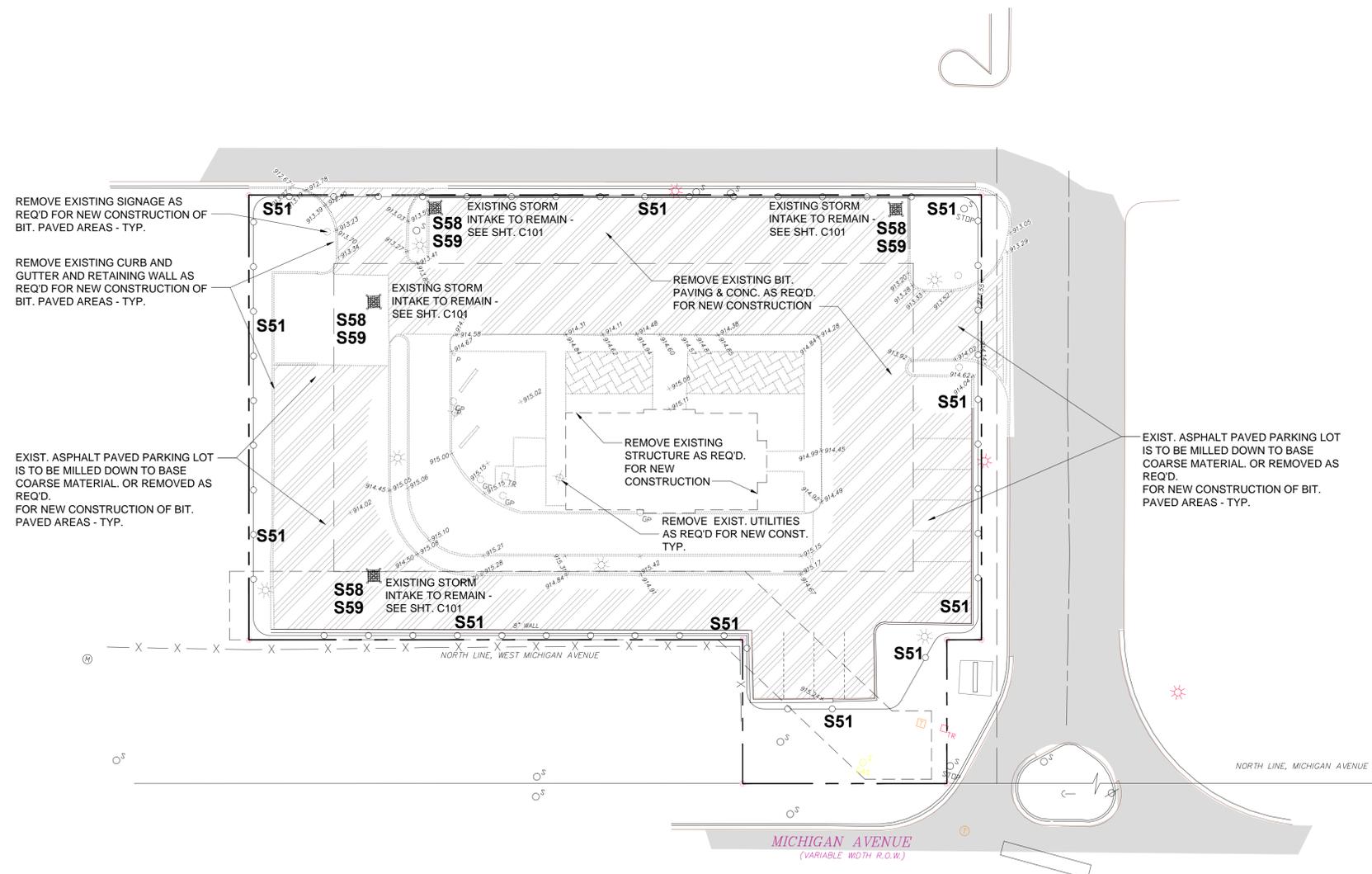
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Lum. Watts	Description
□	1	A	SINGLE	110000	0.720	1080	ACCU 95200-210 / 95200-425S
□	1	B	SINGLE	110000	0.720	1080	ACCU 95200-PP10 / 95200-HES / 95200-425S
⊗	3	C	2 @ 90 DEGREES	110000	0.720	1080	(2) ACCU 95200-PP10 / 95200-425D90
□	1	OCC	SINGLE	12500	0.700	185	ORDER CONFIRMATION CANOPY
○	7	TB	SINGLE	1230	0.900	36	ACCU 05247-051-052 @ 9.17' A.F.G.

SITE FIXTURES ARE 1000W METAL HALIDE w/ SAG LENSES  
 FIXTURE B HAS A HOUSE SIDE SHIELD  
 POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.



**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET  
S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
<b>SEDIMENT CONTROLS</b>			
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.
S59	INLET PROTECTION FABRIC FENCE		Use at stormwater inlets, especially at construction sites.
E12	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.



1 SITE DEMOLITION/SILTATION PLAN  
SCALE: 1" = 20'-0"

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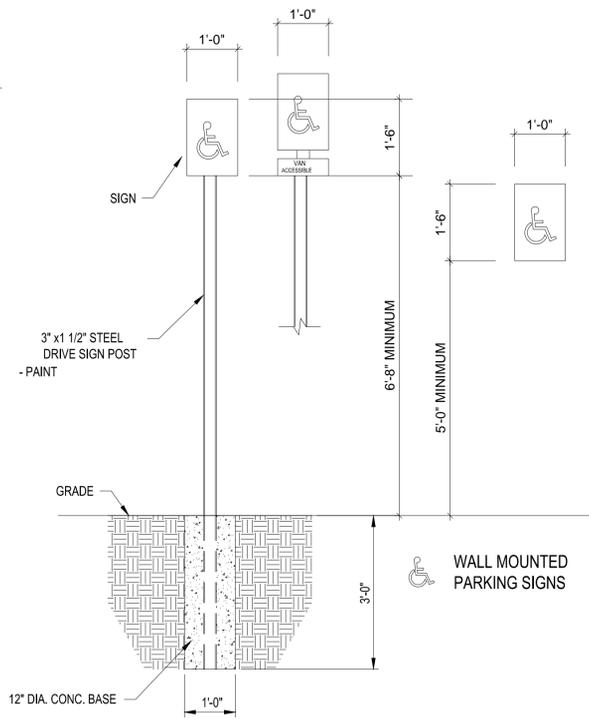
**TACO BELL #5047**  
**CHICAGO DIVERSIFIED**  
**FOODS CORP.**  
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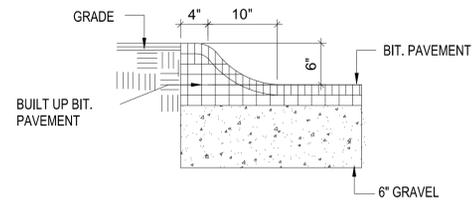
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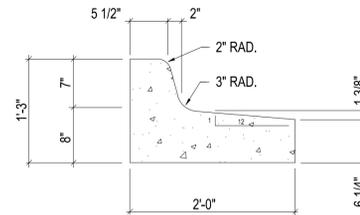




TYPICAL B.F. SIGN POST DETAIL



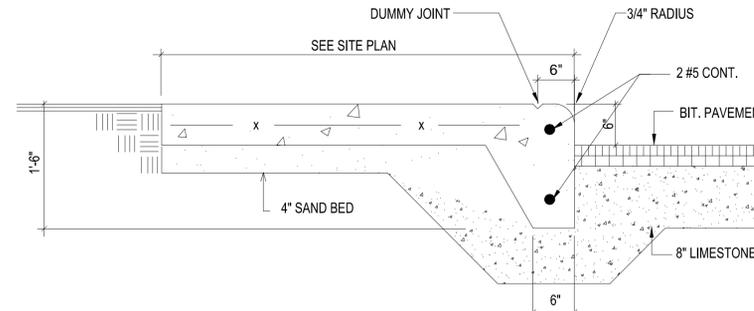
TYPICAL ASPHALT ROLLED CURB DETAIL



TYPE "A" 24" CURB AND GUTTER

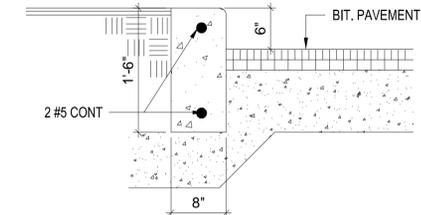
2 DETAIL C103 SCALE: 1" = 1'-0"

1 NOT USED C103 SCALE: 1" = 1'-0"



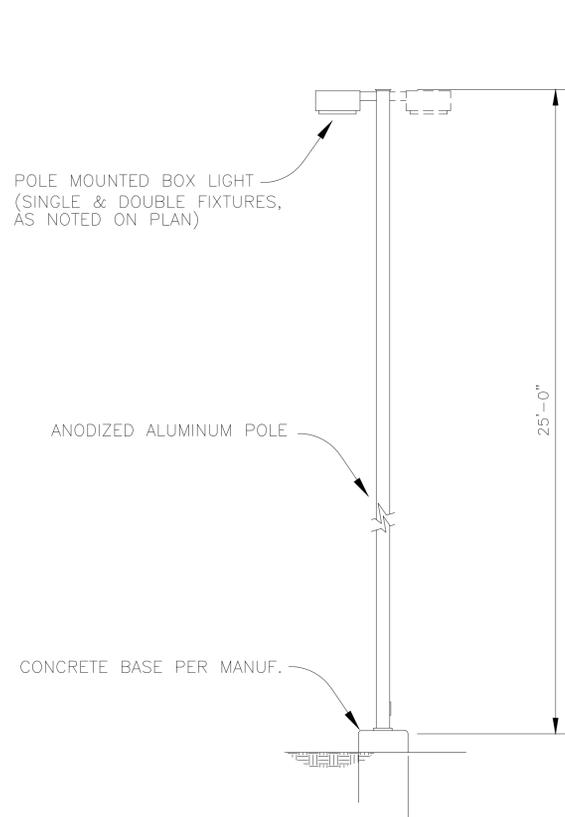
TYPICAL CURB WALK DETAIL

4 DETAIL C103 SCALE: 1" = 1'-0"

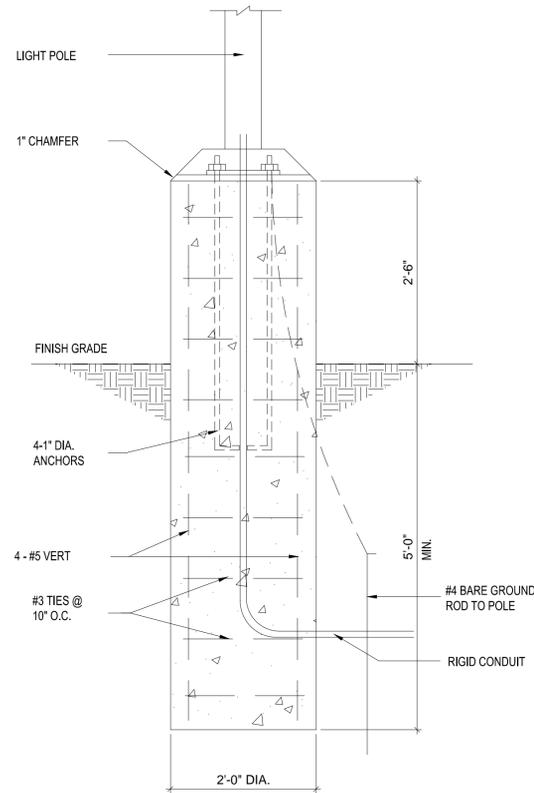


TYPICAL CURB DETAIL

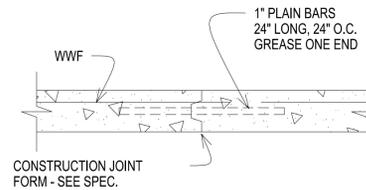
3 DETAIL C103 SCALE: 1" = 1'-0"



PARKING LOT LIGHT DETAIL

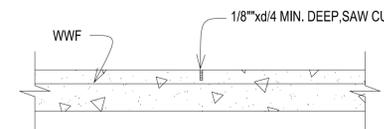


TYPICAL LIGHT POLE BASE DETAIL



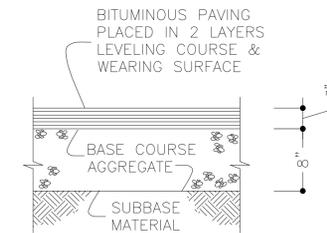
TYPICAL CONSTRUCTION JOINT DETAIL

7 DETAIL C103 SCALE: NO SCALE



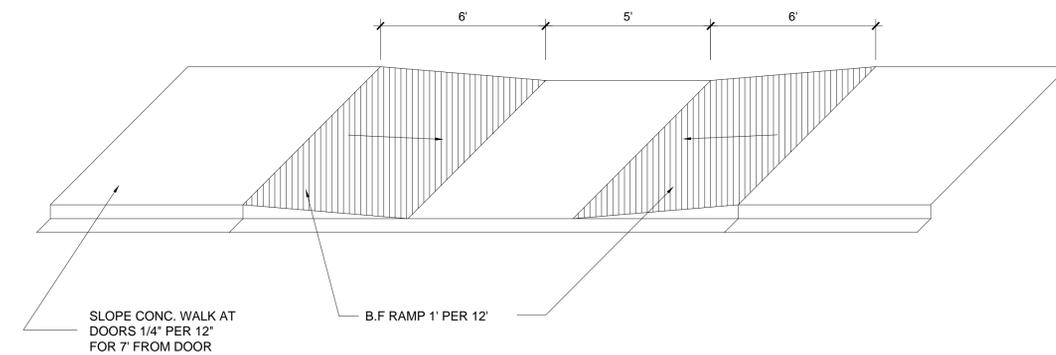
TYPICAL CONTROL JOINT DETAIL

6 DETAIL C103 SCALE: NO SCALE



TYPICAL STANDARD DUTY PAVING SECTION

5 DETAIL C103 SCALE: NO SCALE



BARRIER FREE RAMP DETAIL

7 DETAIL C103 SCALE: NO SCALE

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**TACO BELL**

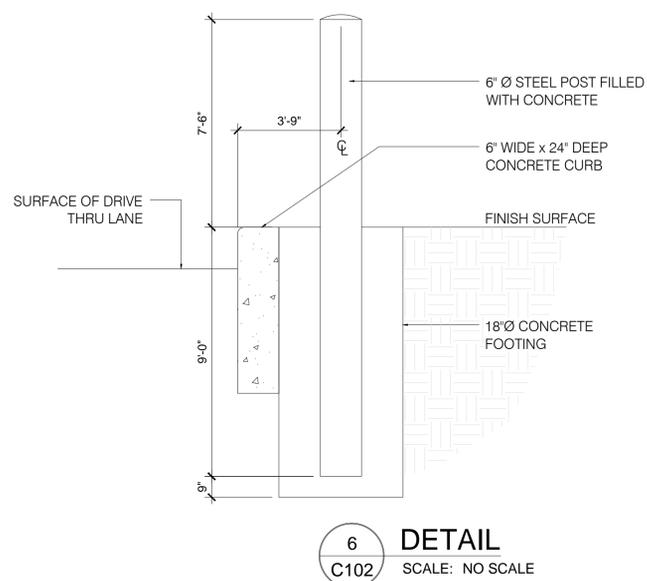
**TACO BELL #5047**  
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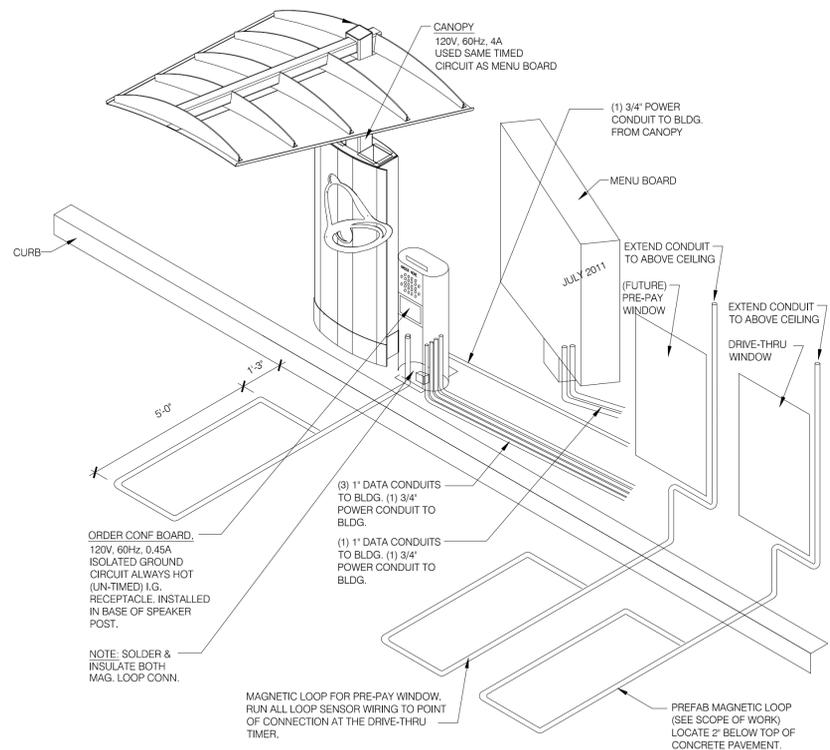
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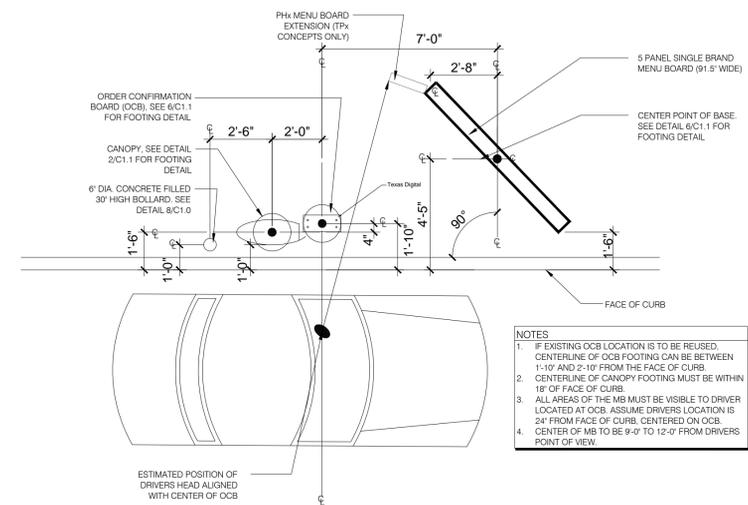
**C103**



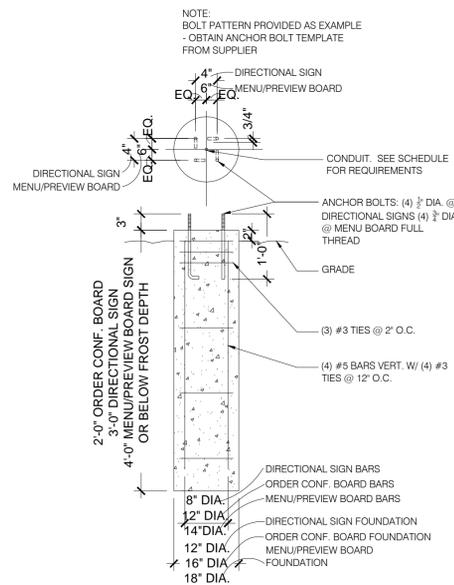
**6**  
C102 **DETAIL**  
SCALE: NO SCALE



**5**  
C102 **DRIVE UP SPEAKER DETAIL**  
SCALE: NO SCALE



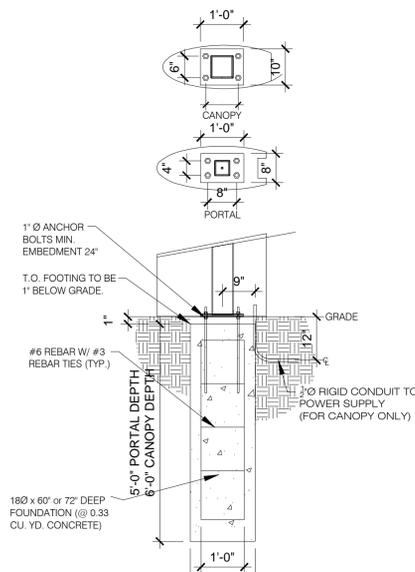
**1**  
C102 **DRIVE UP SPEAKER DETAIL**  
SCALE: NO SCALE



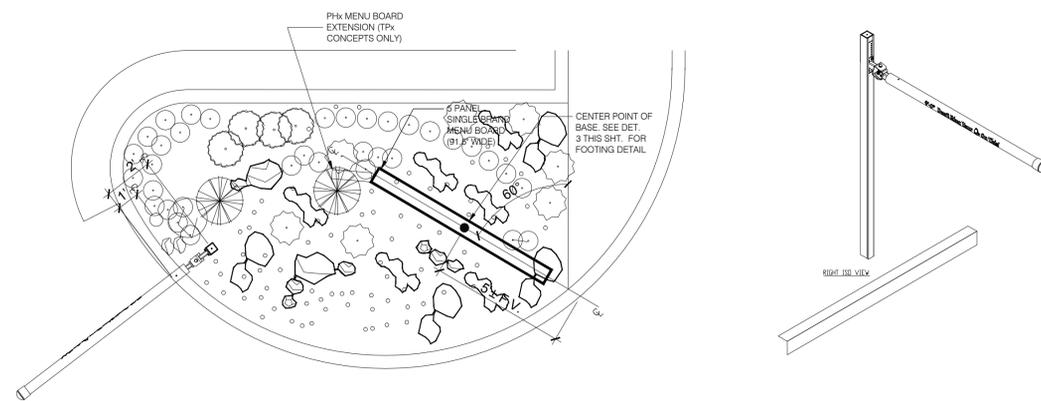
**4**  
C102 **DETAIL**  
SCALE: NO SCALE

DEVICE	POWER	DATA
DIRECTIONAL	(1) 1"	-
OCB	(1) 1"	(3) 1"
MENU BOARD	(1) 1"	(1) 1"

NOTE:  
ALL CONDUIT TO BE MIN. 12\"/>



**3**  
C102 **DETAIL**  
SCALE: NO SCALE



**2**  
C102 **DRIVE UP HEIGHT RESTRICTION DETAIL**  
SCALE: NO SCALE



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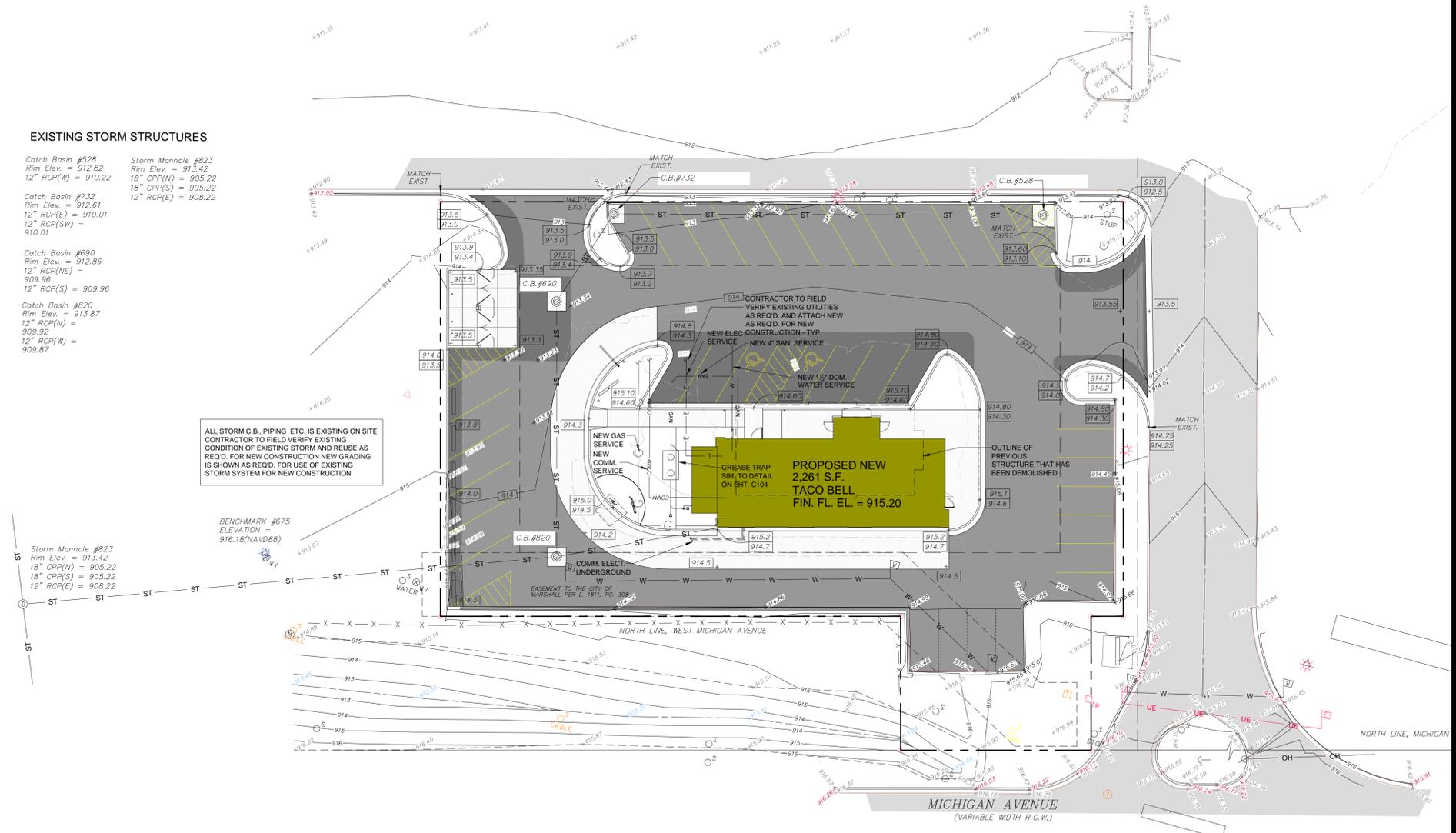
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**C102**

**EXISTING STORM STRUCTURES**

- |   |   |
|---|---|
| Catch Basin #528<br>Rim Elev. = 912.82<br>12" RCP(W) = 910.22                         | Storm Manhole #823<br>Rim Elev. = 913.42<br>18" CPP(N) = 905.22<br>18" CPP(S) = 905.22<br>12" RCP(E) = 908.22 |
| Catch Basin #732<br>Rim Elev. = 912.61<br>12" RCP(E) = 910.01<br>12" RCP(SW) = 910.01 |   |
| Catch Basin #690<br>Rim Elev. = 912.86<br>12" RCP(NE) = 909.96<br>12" RCP(S) = 909.96 |   |
| Catch Basin #820<br>Rim Elev. = 913.87<br>12" RCP(N) = 909.92<br>12" RCP(W) = 909.87  |   |



ALL STORM C.B. PIPING ETC. IS EXISTING ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING CONDITION OF EXISTING STORM AND REUSE AS REQ'D. FOR NEW CONSTRUCTION NEW GRADING IS SHOWN AS REQ'D. FOR USE OF EXISTING STORM SYSTEM FOR NEW CONSTRUCTION

BENCHMARK #675  
ELEVATION = 916.18(NAVD88)

Storm Manhole #823  
Rim Elev. = 913.42  
18" CPP(N) = 905.22  
18" CPP(S) = 905.22  
12" RCP(E) = 908.22



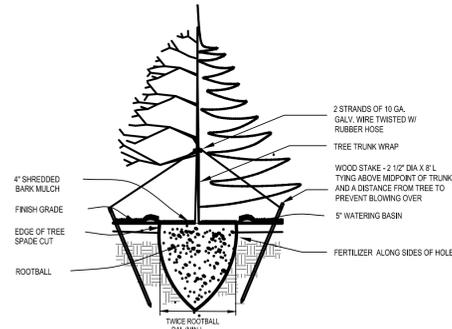
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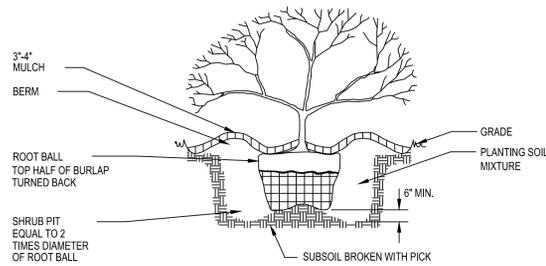
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**C2.0**

CONTRACTOR SHALL PROVIDE SPECIFIED TREES AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI 280.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

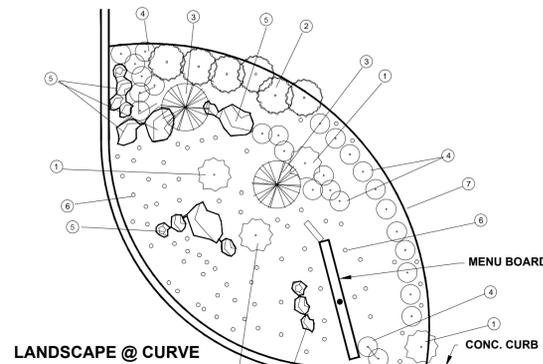


TREE SPADE PLANTING DETAIL



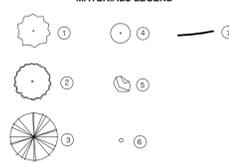
TYPICAL SHRUB PLANTING DETAIL  
NOT TO SCALE

- NOTES:**
1. 1'-0" DIA. MIN. BARK MULCH BED AROUND ALL PLANTINGS (TYP.)
  2. ALL LAWN AREA TO HAVE 4"-6" OF SANDY LOAM TOPSOIL.
  3. HYDRO-SEED (ALL DISTURBED AREA)
    - 30% ARROYO KENTUCKY BLUEGRASS
    - 30% BRASS KENTUCKY BLUEGRASS
    - 20% THREED GENERATION PERENNIAL RYEGRASS WITH ENDOPHYTE
    - 20% IMPROVED VARIETY CREEPING RED FESCUE
 FERTILIZER: 16-24-4 STARTER WITH SULPHUR, IRON, MAGNESIUM, QUICK RELEASE NITROGEN AND NO CHLORINE  
 MULCH: 90% VIRGIN WOOD FIBER W/ ORGANIC TACKIFIER, APPLICATION RATE OF 1.25 POUNDS PER ACRE.



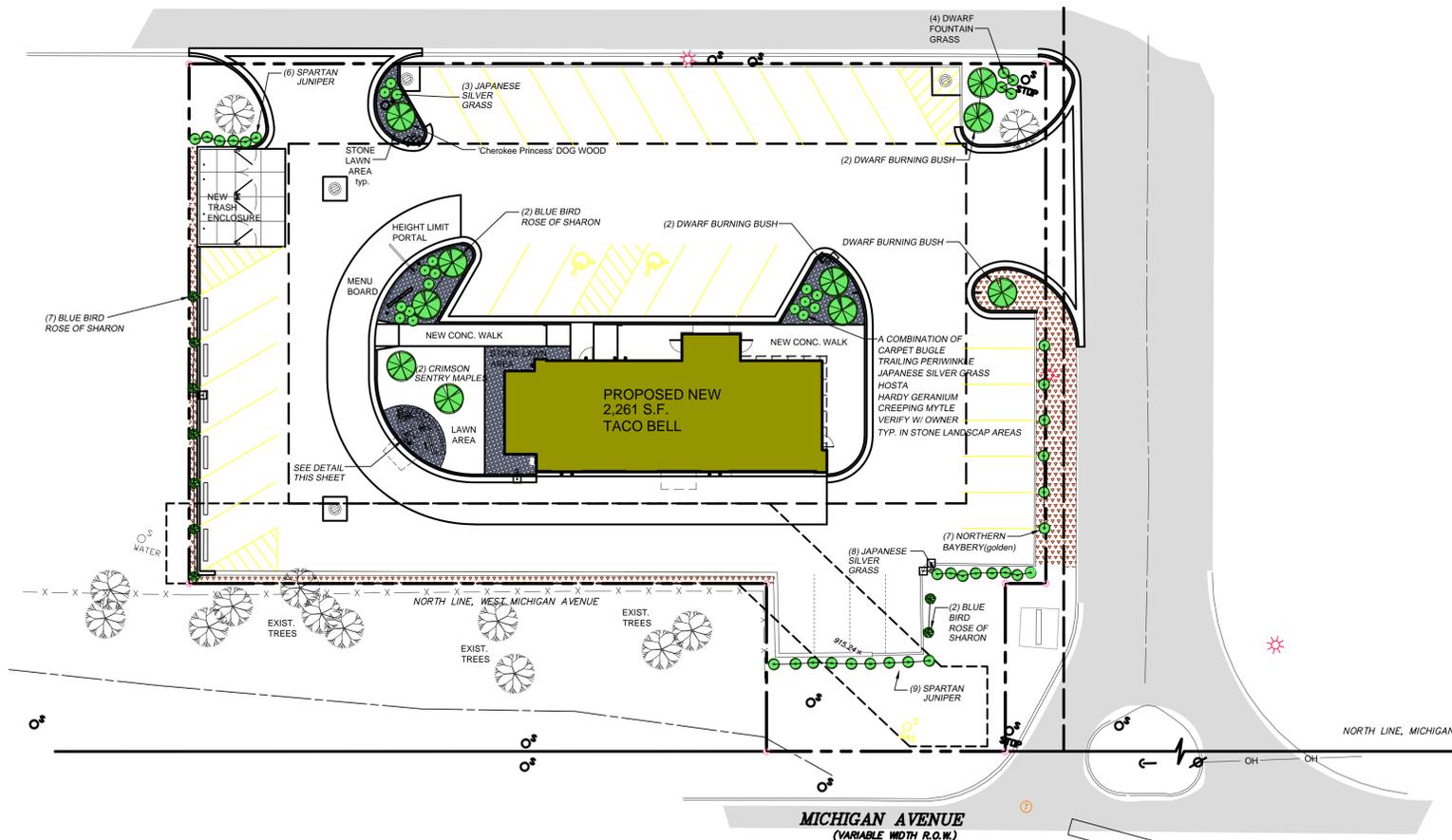
REGION 5 - MIDWEST

NO.	MATERIAL	QTY	SIZE	HGT.	SP.
1	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.	12"	12"
2	JAPANESE BARBERY BERBERIS THUNBERGII	PER PLAN	3 GAL.	10"	15"
3	SOAPWEEED SASSIPARILLA	PER PLAN	3 GAL.		
4	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'MINI GOLD PLUM'	PER PLAN	5 GAL.	24"	24"
5	LIMESTONE BOULDER SAND GRAY 4" TO 24"	PER PLAN	4" DIA.	N/A	
6	TRAVERTINE STONE VARIETY SIZE W/ OWNER	PER PLAN	3"	N/A	
7	STEEL EDGING	PER PLAN	N/A	3" AFD 4" SFS	N/A



PLANT MATERIAL SCHEDULE

AMOUNT		COMMON NAME	LATIN NAME	SIZE
2	EVERGREEN	CRIMSON SENTRY MAPLE	Acer platanoides 'CrimsonSentry'	2 1/2" Cal
1	UNDERSTORY	'Cherokee Princess' DOG WOOD	Cornus florida	2 1/2" Cal
3	SHRUB DEC.	DWARF BURNING BUSH	Euonymus alata 'Compacta'	18"-24"
15	SHRUB EVER.	SPARTAN JUNIPER	Spartan Juniper Juniperus chinensis 'Spartan'	18"-24"
7	SHRUB DEC.	NORTHERN BAYBERY (golden)	Berberis thunbergii 'Aurea'	18"-24"
9	SHRUB DEC.	BLUE BIRD ROSE OF SHARON	Hibiscus Syriacus "Blue Bird"	18"-24"
AS REQ'D. PER PLAN		CARPET BUGLE	Ajuga reptans	VARIES
		TRAILING PERIWINKLE	Vinca minor	VARIES
		JAPANESE SILVER GRASS	Little Fountain & Little Zebra	VARIES
AS REQ'D. PER PLAN		HOSTA		VARIES
		HARDY GERANIUM		VARIES
		CREEPING MYTLE		VARIES



LANDSCAPE SITE PLAN  
SCALE: 1" = 20'-0"

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