

AGENDA
CITY OF MARSHALL PLANNING COMMISSION
City Hall-Council Chambers-323 W. Michigan Ave., Marshall, MI
Wednesday – March 11, 2015 – 7:00 p.m.

CALL TO ORDER

ROLL CALL

CONSIDERATION OF MINUTES

Regular meeting minutes from February 11, 2015

APPROVAL OF AGENDA

AUDIENCE PARTICIPATION

Items on the agenda-- Citizens who wish to speak on a matter on the agenda may do so when called upon by the Chairman. Those people addressing the Board are required to give their name and address for the record and shall be limited to speaking for a maximum of five (5) minutes on a given matter.

PUBLIC HEARINGS

None

NEW BUSINESS

1. Receive Site Plan #SP15.01 for Taco Bell at 15955 W. Michigan Avenue
2. Receive and consider approval for Site Plan #15.02 for Quality Excavators at 817 Industrial Road

OLD BUSINESS

None

PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA -- Citizens who wish to address the Board on items not on the agenda may do so at this time. When called upon by the Chairman, please state your name and address for the record. Members of the public shall be limited to speaking for a maximum of five (5) minutes.

REPORTS

Commissioners
City Council Liaison
DDA Liaison
ZBA Minutes: Found online at www.cityofmarshall.com
Staff Reports
Code Enforcement Index

ADJOURN

**MINUTES
MARSHALL CITY PLANNING COMMISSION
WEDNESDAY, February 11, 2015**

In a regular meeting session, Wednesday, February 11, 2015 at 7:00 p.m. at City Hall, Council Chambers, 323 W. Michigan Ave., Marshall, MI, the Marshall Planning Commission was called to order by Chair Davis.

ROLL CALL

Members Present: Commissioners Davis, Banfield, Burke-Smith, Mankerian, McNiff and Meservey

Members Absent: Commissioners Collins, Zuck, and Council Liaison McNeil

Staff Present: Natalie Dean, Director of Community Services

MINUTES

MOTION by McNiff, supported by Banfield, to accept the minutes of the January 14, 2014 regular meeting as presented. On a voice vote; **MOTION CARRIED.**

AGENDA

MOTION by McNiff, supported by Burke-Smith, to accept the agenda for the February 11, 2015 regular meeting as presented. On a voice vote; **MOTION CARRIED.**

AUDIENCE PARTICIPATION

None

PUBLIC HEARINGS

None

NEW BUSINESS

Clearzoning will present Master Plan Draft with discussion of proposed revisions.

Mardy Stirling and Joe Tangari with Clearzoning, city consultants, began to present the Master Plan first draft for comment and discussion. They first addressed the processes that had already taken place, including:

- Published and distributed a formal Notice of Intent to Plan
- Invited the public to an Open House event
- Invited all stakeholders to complete a survey for public opinion
- Staff and Planning Commission review of draft

Then they clarified the future processes that will need to take place, including:

- Authorization to distribute the plan, requested from City Council
- 42 day period in which all adjacent jurisdictions can comment on the plan

- A Public hearing would be required.
- Final staff and Planning Commission review
- Approval would be requested from City Council.

Stirling and Tangari continued the presentation which included conversation and comments from Commissioners regarding revisions, suggestions, and insight. The discussion included:

- Many of the Downtown strategies were carried over from the 2008 plan. The biggest challenge that was presented is that the Downtown District is along a state highway which requires a high degree of cooperation with MDOT. Therefore, benchmarking other examples of communities cooperating with MDOT will be helpful.
- The River District was able to be identified by about half of the people that took the online survey. The district could benefit from increased way finding and walkable connections with the rest of the city, as well as by creating a cohesive design for the area.
- The West Michigan Corridor had very low public opinion and according to the survey, was viewed as visually unappealing and dangerous, specifically for pedestrians. This area could benefit greatly from incorporating ideas from Complete Streets and through creating design standards for uniformity. It was suggested that a mid-block crossing be installed about mid-way up the West Michigan corridor. There were also suggestions from staff and commissioners to change the images in this section of the draft plan.
- Freeway service areas were discussed as a challenge due to properties along the corridors not being within City jurisdiction.
- Demographic studies showed that the City's population decreased during the last census within certain age brackets. This was most likely due to lack of housing options and amenities such as senior living and young family entertainment. Therefore, a chapter on transitional housing was included in this Master Plan update.
- The hospital overlay district discussion focused on way-finding challenges. The hospital traffic needed to be directed in order to minimize use of residential areas.
- The site formerly used for insurance office space on the east corridor was discussed. This property was presented with the assumption that any major redevelopment may require a public/private partnership. It was also discussed that this property has many different options when it comes to redevelopment, but Commissioners expressed that future uses would have to be sensitive to a completely residential surrounding.
- Fairground areas were also addressed. The need for the Fairgrounds to have their own Master Plan was highly desirable, as well as a possible upgraded entryway onto the grounds.
- Citywide internet was a major factor that was presented through the public survey including that lack of reliable, fast service in the downtown area. The draft plan presented from framework for fiber optic service throughout the city, and consultants also discussed the idea that exceptional internet service could be marketed to entice developers to the City.
- The Industrial Park area had a wide range of suggested uses during the Open House. The area has a large amount of vacant land. It was also suggested to add some amenities to the portions of the park that are already occupied.
- Gateway and way-finding goals were carried forward from the 2008 Master Plan.
- Complete Streets was a popular concept during the open house and through the public survey. Complete Streets was a new act since the last Master Plan. A Non-motorized Plan will be conceived shortly after the Master Plan update. It is expected to be referenced in the Master Plan.
- Implementation strategies were updated and correlate with the goals set in each section of the draft plan. Planning Commissioners will address these and set priority, time frame, status, and designee for each strategy at a later date.

- Benchmarks were not included in the draft plan, but they will be added in order to show precedence for projects in other communities. A handout was distributed for a visual example of this section.
- Consultants discussed that they plan to reference the Iron Belle Trail system, 2007 Downtown Improvement Strategies, and the Parks and Recreation Master Plan.
- Other minor changes were addressed such as image choice, spelling errors, and items to be in the appendix such as Future Land Use Map and comprehensive survey results.

MOTION by Banfield, supported by McNiff, to request authorization from City Council to distribute the Master Plan draft as presented. On a voice vote; **MOTION CARRIED.**

OLD BUSINESS

None

PUBLIC COMMENTS

None

REPORTS

Burke-Smith reported that the Ice, Wine & Blues Festival that took place the previous weekend sustained extensive damage to the ice sculptures overnight possibly from pedestrian traffic downtown.

Meservey reported that the Farmer's Market applied for a second grant, and they are expecting to hear back within a week.

Staff reported that the MEDC will have Redevelopment Ready Communities representatives presenting the complete review of City processes as they pertain to redevelopment. They will present to City Council during a work session on Monday, March 2, in the City Hall Training Room. Staff had a chance to review the document, and many of the suggestions regarding planning and zoning will be addressed through the Master Plan and zoning ordinance updates. Other suggestions that will be presented will rely on MAEDA. This would be a great opportunity for the Commissioners to hear more about where the City stands with regards to the RRC Program. All Commissioners are invited to attend. There will also be a developer there to reinforce what developers look for in locating and staying in certain areas and how the RRC programs assists communities in providing and showcasing those aspects. Finally, Staff reported that the Director of Public Services, Carl Fedders, has resigned with the City and will be leaving at the end of the month. The process of hiring his replacement is expected to start soon.

ADJOURN

The Planning Commission adjourned at 9:02 pm.

Submitted by,

Lisa Huepenbecker

Report To: Chairman Davis and Planning Commission Members
From: Natalie Dean, Director of Community Services
Subject: Taco Bell, 15955 W. Michigan Avenue
Meeting Date: March 11, 2015

SITE PLAN REVIEW

Case #: Site Plan #SP15.01
Zoning District: B-4 Regional Commercial District
Adjacent Zoning: Surrounded by B-4 completely
Parcel(s): 002-593-00
Variances: No prior variances-current variances to be heard on March 19, 2015
Proposed Use: Use remains consistent- fast food restaurant

FINAL PLAN

Staff received an initial site plan for the rebuild of Taco Bell at 15955 W. Michigan Avenue on January 30, 2015. A city staff review was held on February 5, 2015 to discuss the plan and suggest revisions; the Architect for this project attended this meeting. Following the meeting, revisions to the plan not requiring a variance included lowering of the light poles to 20', providing clarification on the traffic flow throughout the site, showing masonry intended for the façade and providing the percentages of landscaped areas site-wide.

There are also items proposed on the site plan that did not conform to City zoning ordinances. Staff discussed these items with the Architect. As a result, the owner has decided to file for the following variances at the March 19, 2015 ZBA meeting:

- (a) §153.324 MINIMUM NUMBER OF SPACES REQUIRED – increase allowed parking by 5 spaces
- (b) §156.323 GENERAL REGULATIONS – lessen parking lot setbacks
- (c) §156.328 LOADING SPACE REQUIREMENTS, §156.323 GENERAL REGULATIONS – lessen loading space requirements
- (d) §156.304 METHODS OF SCREENING, §156.306 INTERIOR LANDSCAPING, §156.307 PARKING LOT LANDSCAPING – minimize landscaping requirements

In light of the upcoming variance requests, Planning Commission is being asked to receive the site plan at the first meeting, with final approval held for the April 8, 2015 meeting. After the variance requests for Taco Bell have been decided, the plan will come back to Planning Commission for final approval-with or without revisions (as needed, per ZBA ruling).

In summary, the Taco Bell parcel is .6 of an acre and therefore, does not require a Landscape Architect to stamp the plans. Lot coverage is well within the allowable limits and the building setbacks have been met. Both drives empty into a private parking lot and not onto City or MDoT right-of-way. For drainage, the Architect has been told that an agreement with either Agree Realty or MDoT would need to be reached before construction begins as the site drains to one of these systems. However, there will be no considerable increase of pavement on the site, so the City's storm water policies do not apply.





February 5, 2015

Jim Vanden Berge
2065 Foxridge
Grand Rapids, MI 49505

Re: Site plan #SP15.01 Taco Bell, 15955 W. Michigan Ave.

The City's review team met on Thursday, February 5th to discuss and review the site plan for the rebuild/redesign of Taco Bell. Thank you for attending that meeting. Below you'll find a summary of the site plan evaluation:

Approved highlights:

- Engineering stamp
- Proper zoning has been marked
- LA does not need to stamp (.6 acre)
- Lot coverage is well within limits (60% max)
- Building setbacks have been met (Front: 20', Sides 10'/15', Rear 25')
- Elevation drawings have been submitted and height is permissible at 22.1' (35' max)
- One proposed driveway to the east of the property is 30' wide and north drive is 26.7'. North drive empties into parking lot, not into public roadway.
- Parking spaces sizes are:
 - 9x18.2 (east) *Ok with perimeter landscaped area
 - 9x22.6 (north)
 - 10x22.6 (west)
 - 9x20 (south)

*§156.307 (C) A parking space overhang of two feet may be used to widen a perimeter landscaped area and reduce the length of a parking space by two feet less than required by this chapter
- Storm water: An agreement concerning storm water with either Agree Realty or MDOT will need to be reached before construction begins. Storm water does not release to the City's system.
- Dumpster is within compliance.

Possible Variance Requests:

- Addition of 5 parking spaces. The required spaces for the property is 25 at 1:4 sets + 1: employee (54 seats/10-12 employees). 20% allowable increase (add 5). Proposed is 35.
(§156.324 (D) 5+ 1 per employee in the largest working shift)
- Parking lot setbacks (east 2', south 3', west 3', north 0') from lot line?
§156.323 General Regulations: (I) *Setbacks. No part of any off-street parking area shall be closer than ten feet to any street right-of-way line.*

Public Service Building
900 S. Marshall Ave.
Marshall, MI 49068

P:269.781.3985 x.1505

cityofmarshall.com

- Loading space is 35' from front yard setback but still in front yard.
§156.328 (C) *Loading spaces shall not be provided in the front yard, the front side of any building, or on any side facing and directly visible to a public street, unless the Planning Commission determines such a location is necessary due to the building's location or placement or existing street patterns.*
- Landscaping. Site wide island plantings, stone vs. live material, greenbelts.

Revisions

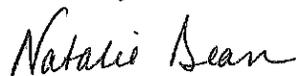
- Light poles are 25' (required to stay at 20').
- Signs will have to go through sign permit approval.
- Clarify two-way drives.
- Electric department will need clarification on electric loads and the location.
- Change references to sheet C101.
- Show masonry on final plans.
- Please supply the percentage of landscaped areas on the site.
- Site plan and Variance applications will need to be signed by the owner of the property.

Again, thank you for your time spent with us in review of this plan. Please see the attached email from Carl Fedders on engineering specifics. The deadline for final submittal of the application and revised site plan, along with variance application is set for Monday, February 23, 2015. Please submit 1 electronic copy by email to me, 2 full-size hard copies and 18 11x17 copies (7 for ZBA, 11 for PC). Upon the receipt of these materials, you will be placed on the agendas for the following meetings:

- Wednesday, March 11, 2015-Planning Commission meeting (receive site plan)
City Hall, 323 W. Michigan Ave., 7:00 p.m.
- Thursday, March 19, 2015-Zoning Board of Appeals meeting (variance approvals)
City Hall, 323 W. Michigan Ave., 7:00 p.m.
- Wednesday, April 8, 2015-Planning Commission meeting (approve site plan)
City Hall, 323 W. Michigan Ave., 7:00 p.m.

A representative of the plan should be available at all meetings listed above. I look forward to seeing you through this process and thank you for investing in the City of Marshall. Please call or email if you should have any questions.

Sincerely,



Natalie Dean

Natalie Dean

From: Carl Fedders
Sent: Wednesday, February 04, 2015 9:11 AM
To: Natalie Dean
Subject: Taco Bell

Ms. Dean~

The Engineering Department has completed its review of the proposed site plan at 15955 W. Michigan Avenue and have the following comments:

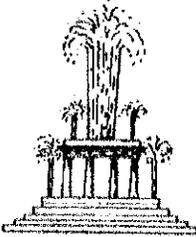
- SESC permit must be issued by the Calhoun County Road Department prior to any earth disturbance. Erin Cummings 269.781.6101 or ecummings@calhouncountymi.gov
- Based on the proposed site plan, the building is being enlarged by 661 sft. Water and sewer capacity fees will be \$661 and \$264.40 respectively. Once building plans are submitted these calculations will be finalized and payment must be made prior to construction.
- Due to the fact that the planned disturbance does not impact more than an acre, the City's Stormwater Policy and Performance Standards for Stormwater Management does not apply. It is unclear where the stormwater discharges. Manhole #823 leads us to believe that it either discharges out onto the Michigan Avenue right of way in which case MDOT would require a review. If it discharges to the North and finally into the detention basin behind Kmart then this property owner would need to permit this potential increase in flow. Sheet C101 has been omitted from the package and may shed some light on this issue. It is likely that a through engineering study of the storm water may be necessary due to reoccurring flooding issues in the area.
- It is unclear at this time where water and sewer service are currently fed from but our staff will be investigating this in the future.



Carl E Fedders
Director of Public Services
City of Marshall
(269) 558-0323 NEW!
Fx: (269) 789-4628
www.cityofmarshall.com

[Follow us on Facebook!!!](#)

City of Marshall
Application for Site Plan Review



Attn: Planning & Zoning Administrator
323 W Michigan Ave.
Marshall, Michigan 49068

Official Use:

Date Received: 1/30/15 Received by: ND Approved X
Application Complete: X Fee Paid: \$250.00 Receipt Number: 524640

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

1. Applicant Information

Address of Property being developed:

15955 W MICHIGAN AVE

Owner of Property: MIKE BASILE

CHICAGO DIVERSIFIED FOODS CORP.

Address: 400 W 22ND ST "E" City: LAMBARO State: MI Zip: 60148

Email: BASILEMIKE@AOL.COM Telephone: 630-889-1818 Cell: 616-437-2908

2. Owner's Agent if working for property owner.

Title: OWNER SUB ARCHITECT Name: JAMES VANDEN BERG

Address: 2065 FOXRIDGE City: GRAND RAPIDS State: MI Zip: 49505

Email: JVB@COMCAST.NET Telephone: () - Cell: 616-443-2524

City of Marshall
Application for Site Plan Review

3. Brief description of proposed project

DEMO EXIST TACO BELL +
REPLACE WITH A NEW PROTO-TYPE
TACO BELL

4. Property Information

Zoning District: B-4 Are there wetlands present? Yes ___ or No X

Is the property located in a floodplain? Yes ___ or No X

Land Area in square feet: 30,489 sf Building Area in square feet:

2,661 sf

Number of Square feet of paved areas: EXIST 22,580 - PROPOSED 22,270

Is there a lake or stream within 500 feet of the subject property: Yes ___ or No X

Number of parking spaces: Existing 35 or Proposed 35

Has any other agency been contacted for approvals? Yes ___ or No X. If yes, please list those agencies and the date:

Agency	Contact	Date
_____	_____	_____
_____	_____	_____

5. Site Plan Submission Requirements (Review Zoning Ordinance for all requirements)

1. Complete the Application.
2. Review and follow the Site Plan Review checklist.
3. Go to www.cityofmarshall.com - Planning and Zoning and click on Marshall City Code of Ordinances and then type in "156".
4. Submit a certified survey of the property with the site plan.
5. Submit a copy of the deed showing ownership.

City of Marshall
Application for Site Plan Review

6. Authorization (Must be signed by the owner of the property)

I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Michael A. Basile

Title: VP Development Date: February 9 2015

Signature: 

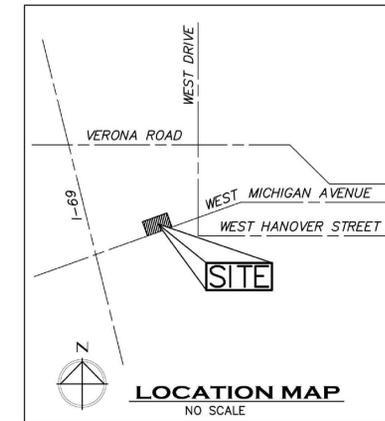
Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
PLATS	
Up to 30 Lots	\$450.00
Over 30 Lots	\$650.00
SITE CONDOMINIUMS	
Up to 30 Lots	\$350.00
Over 30 Lots	\$550.00
SITE PLANS	
Commercial and Industrial	\$250.00 < 30 acres \$350.00 - 30 acres or more
Institutional	\$250.00
Special Land Use	\$250.00
Planned Unit Development (PUD)	\$350.00
Amend a PUD development	\$150.00
Multiple Family Developments (Apartment & Condo's)	\$50 plus \$5.00 per unit or lot minimum fee \$250.00
Additions to existing Site Plans if Planning Commission Review is required	\$100.00
Extending Site Plan with Planning Commission approval	\$150.00

Fire Protection Notes

1. Shop dwg's & cut sheets for the hood fire suppression system & alarm system must be submitted for review and approval to the Allegan Charter Twp. Fire Dept.
2. A fire dept. lock box must be installed on the Bldg.
3. Keys for all exterior & interior doors must be given to the fire inspector at the final inspection to be locked inside the fire dept. lock box.
4. Verify location and type of Fire extinguisher with Fire Inspector

PROPOSED NEW BUILDING FOR:
TACO BELL #5047
 CHICAGO DIVERSIFIED FOODS CORP.
 400 E. 22ND STREET SUITE E
 LOMBARD, IL 60148
 ATTN. MIKE BASILE
 WORK:630.889.1818
 CELL:616.437.2908



GENERAL NOTES

1. Utility locations are derived from actual measurements or available records. They should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
2. NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
3. Easement, boundary lines, and boundary description shown hereon were taken from previous Nederveid project number 0610003, dated January 4, 2006; easements and parcel boundary lines were not reviewed at the time of this survey.

SITE BENCHMARKS

- BENCHMARK #578 ELEVATION** ----- 918.56 (NAVD88)
 Set "square" benchmark in NNW side of concrete light pole base 3'± above grade at the Southwest corner of parking lot of Monarch Community Bank on the West line of the asphalt extended South 2'±.
- BENCHMARK #675 ELEVATION** ----- 916.18 (NAVD88)
 Set benchmark on the SW flange bolt above the "W" in "WATEROUS" 1.5'± above grade at the SE corner of the K-Mart parking lot 62'± W of the back of curb for Taco Bell parking lot & 22' N of right-of-way fence.
- BENCHMARK #822 ELEVATION** ----- 924.43 (NAVD88)
 Benchmark from NGS Datasheet designation L335; 12.6 miles Westerly along Austin and Michigan Avenues from 0.35 miles North of the Post Office in Albion. 83'± East of the centerline I-69 Northbound Lanes & 19.4' South of the center of Michigan Avenue. (OFF-SITE)

BUILDING DATA

2009 INTERNATIONAL BUILDING CODE – PLUS H.P. AMENDMENTS
 MICHIGAN BUILDING CODE - AMENDMENTS, 2009

- 2009 MICHIGAN BUILDING CODE
- 2009 MICHIGAN PLUMBING CODE
- 2009 MICHIGAN MECHANICAL CODE
- 2008 NATIONAL ELECTRICAL CODE
- FIRE CODE: 2009 IFC
- ACCESSIBILITY CODE: 2009 MBC & 2003 ANSI 117.1
- ENERGY CODE: MICHIGAN UNIFORM ENERGY CODE

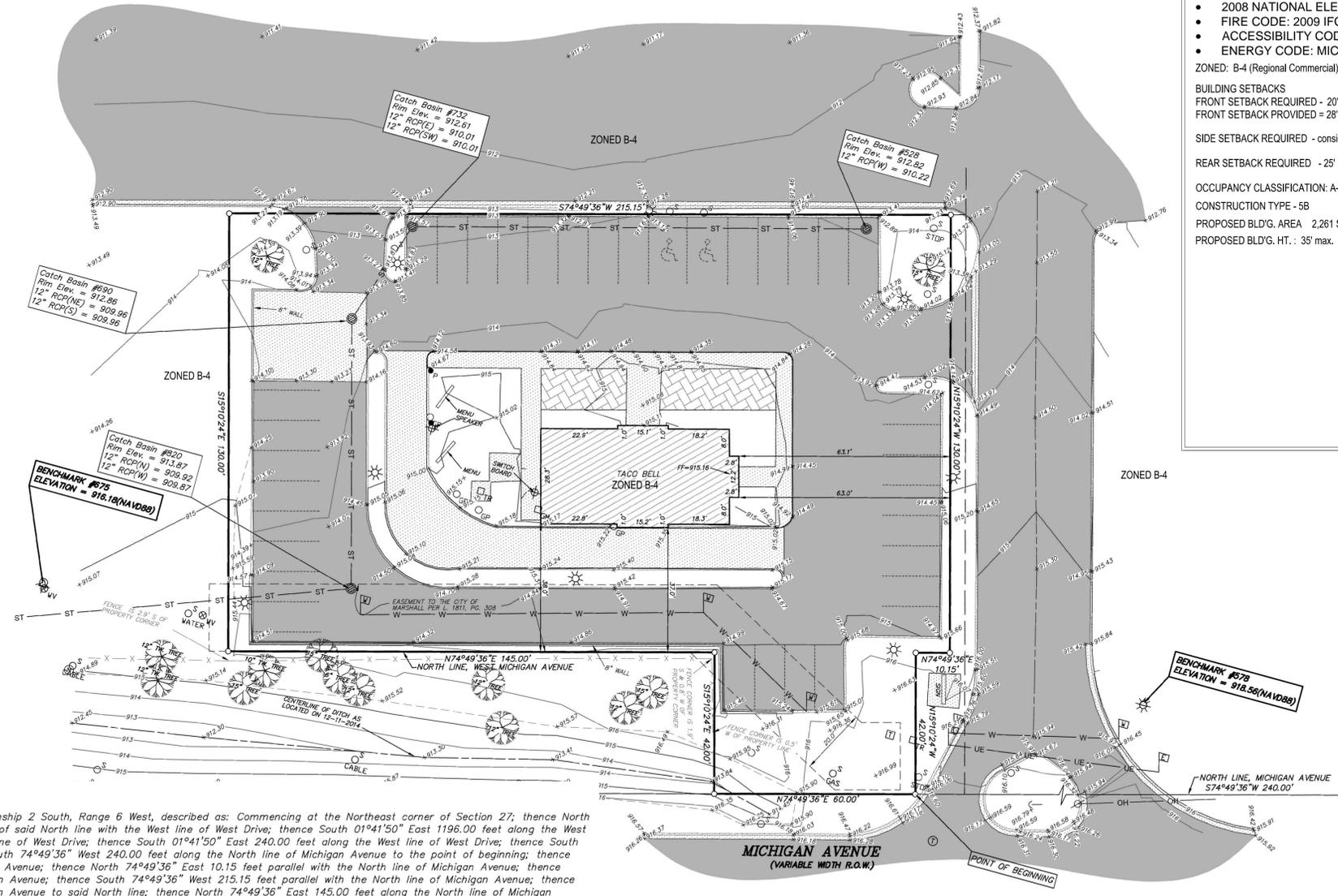
ZONED: B-4 (Regional Commercial)

BUILDING SETBACKS
 FRONT SETBACK REQUIRED - 20'
 FRONT SETBACK PROVIDED = 28' min.

SIDE SETBACK REQUIRED - considered Front setback per lot design see above

REAR SETBACK REQUIRED - 25' REAR SETBACK PROVIDED = 79'

OCCUPANCY CLASSIFICATION: A-2 Assembly
 CONSTRUCTION TYPE - 5B
 PROPOSED BLD'G. AREA 2,261 S.F.
 PROPOSED BLD'G. HT. : 35' max.



DESCRIPTION

DESCRIPTION: A parcel of land in the Northeast Quarter of Section 27, Township 2 South, Range 6 West, described as: Commencing at the Northeast corner of Section 27; thence North 89°40'25" West 70.04 feet along the North Section line to the intersection of said North line with the West line of West Drive; thence South 01°41'50" East 1196.00 feet along the West line of West Drive; thence South 88°18'10" West 5.00 feet along the West line of West Drive; thence South 01°41'50" East 240.00 feet along the West line of West Drive; thence South 46°02'00" West 71.98 feet to the North line of Michigan Avenue; thence South 74°49'36" West 240.00 feet along the North line of Michigan Avenue to the point of beginning; thence North 15°10'24" West 42.00 feet perpendicular to the North line of Michigan Avenue; thence North 74°49'36" East 10.15 feet parallel with the North line of Michigan Avenue; thence North 15°10'24" West 130.00 feet perpendicular to the North line of Michigan Avenue; thence South 74°49'36" West 215.15 feet parallel with the North line of Michigan Avenue; thence South 15°10'24" East 130.00 feet perpendicular to the North line of Michigan Avenue to said North line; thence North 74°49'36" East 145.00 feet along the North line of Michigan Avenue; thence South 15°10'24" East 42.00 feet along the North line of Michigan Avenue; thence North 74°49'36" East 60.00 feet along the North line of Michigan Avenue to the point of beginning.

Together with a non-exclusive easement for ingress, egress and utilities as created, limited and defined in instruments recorded in Liber 1227, page 976, Liber 1549, page 365 and Liber 1559, page 897.
 (From First American Title Insurance Company Commitment Number 129987, dated December 27, 2005)

1 EXISTING SITE PLAN
 T100 SCALE: 1" = 30'-0"

TITLE/SITE
 T100 SITE LOCATION MAP, SHEET INDEX, BUILDING DATA, EXIST. SITE PLAN, EXIST. ZONING PLAN

- CIVIL**
- D1.0 DEMOLITION SITE PLAN
 - C1.0 SITE PLAN
 - C2.0 UTILITY SITE PLAN
 - C102 SITE DETAILS
 - C103 SITE DETAILS
 - C104 SITE DETAILS
 - L100 LANDSCAPE SITE PLAN
 - PH1.0 SITE PHOTOMETRIC PLAN

- ARCHITECTURAL**
- A1.0 FLOOR PLAN
 - A2.0 EQUIPMENT AND SEATING PLAN
 - A4.0 EXTERIOR ELEVATIONS

RDC
 RETAIL DESIGN CONSULTANTS
 7580 48TH ST. SE.
 GRAND RAPIDS MI 49512
 T.616.634.2253
 GLENN@RDC-LLC.COM

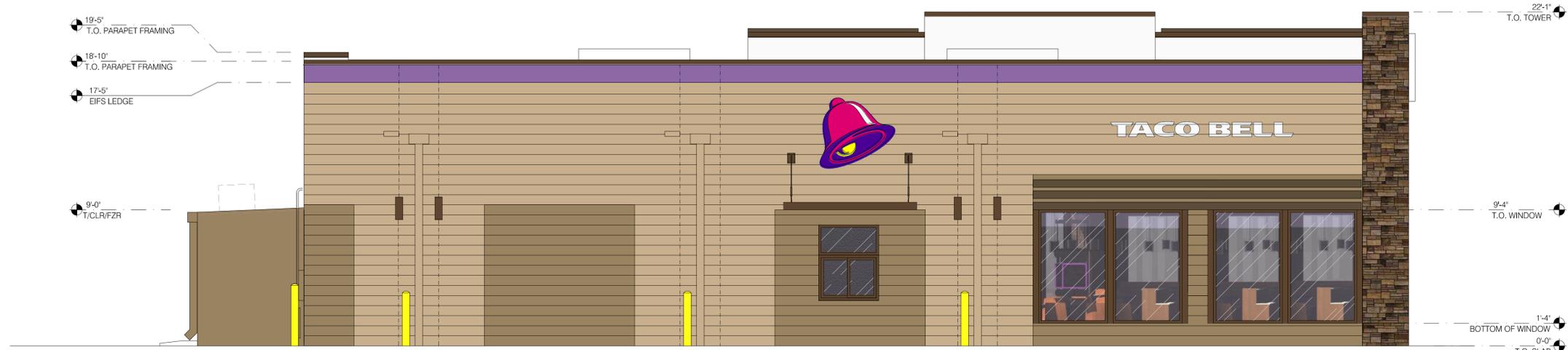
JAMES VANDEN BERGE
 CIVIL & ARCHITECTURAL
 CONSULTATION & DESIGN
 SERVICES
 2065 FOXRIDGE
 GRAND RAPIDS, MI 49505
 PHONE: 616-443-2524
 EMAIL: JVB@CIVILARCH.COM/CAST.NET

TACO BELL #5047
 CHICAGO DIVERSIFIED
 FOODS CORP.
 15955 W MICHIGAN AVE
 CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM.	1/19/15
---------	---------

DRAWN BY JVB
 CHECKED BY JVB
 PROJECT NUMBER 014028

T100



1 SOUTH EXTERIOR ELEVATION
A4.0 SCALE: 1/4" = 1'-0"



2 NORTH EXTERIOR ELEVATION
A4.0 SCALE: 1/4" = 1'-0"



4 WEST EXTERIOR ELEVATION
A4.0 SCALE: 1/4" = 1'-0"



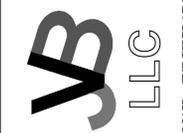
3 EAST EXTERIOR ELEVATION
A4.0 SCALE: 1/4" = 1'-0"



RETAIL DESIGN CONSULTANTS
7580 48TH ST. SE.
GRAND RAPIDS MI 49512
T.616.634.2253
GLENN@RDC-LLC.COM

JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL
CONSULTATION & DESIGN
SERVICES

2065 FOXRIDGE
GRAND RAPIDS, MI 49505
PHONE: 616-443-2524



EMAIL: JVB@JBVILARCH.COM



TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
15955 W MICHIGAN AVE
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15

This drawing is the sole property of JBV LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2015

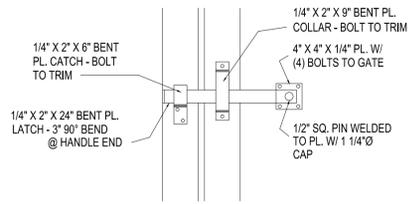
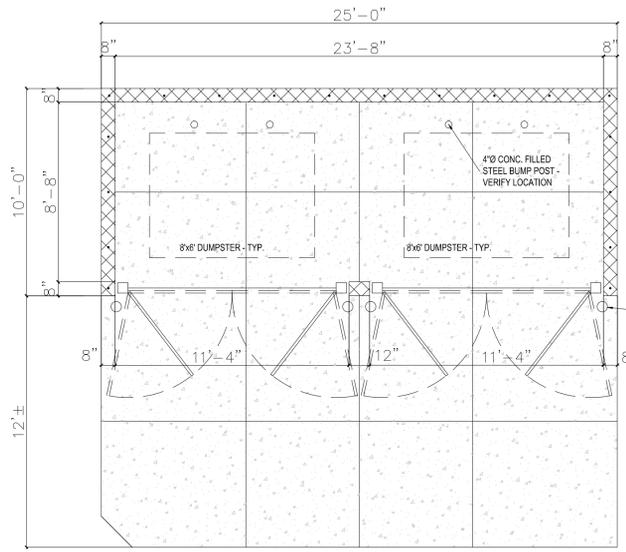
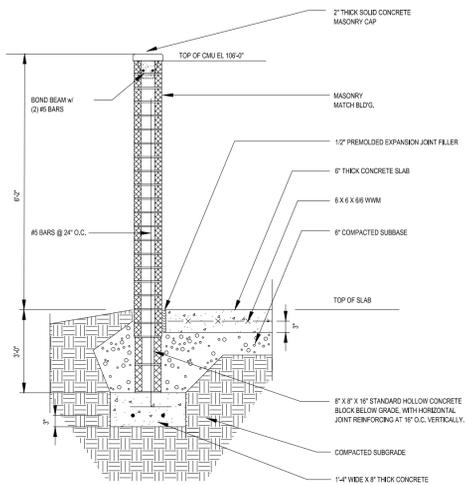
SEAL

DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 014028

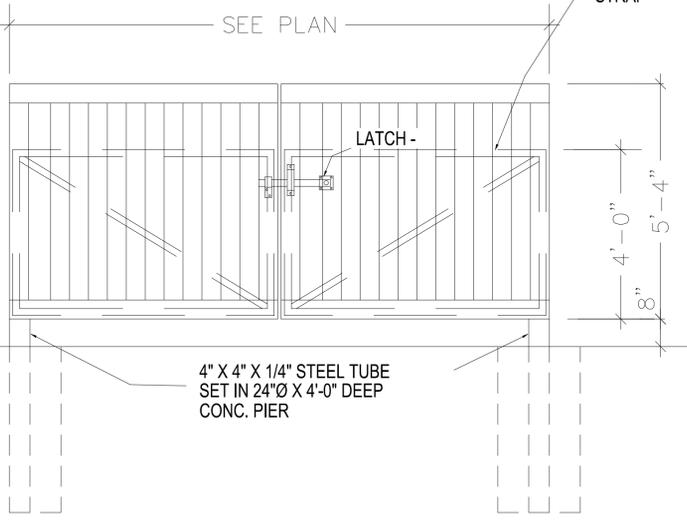
A4.1

GENERAL NOTES:

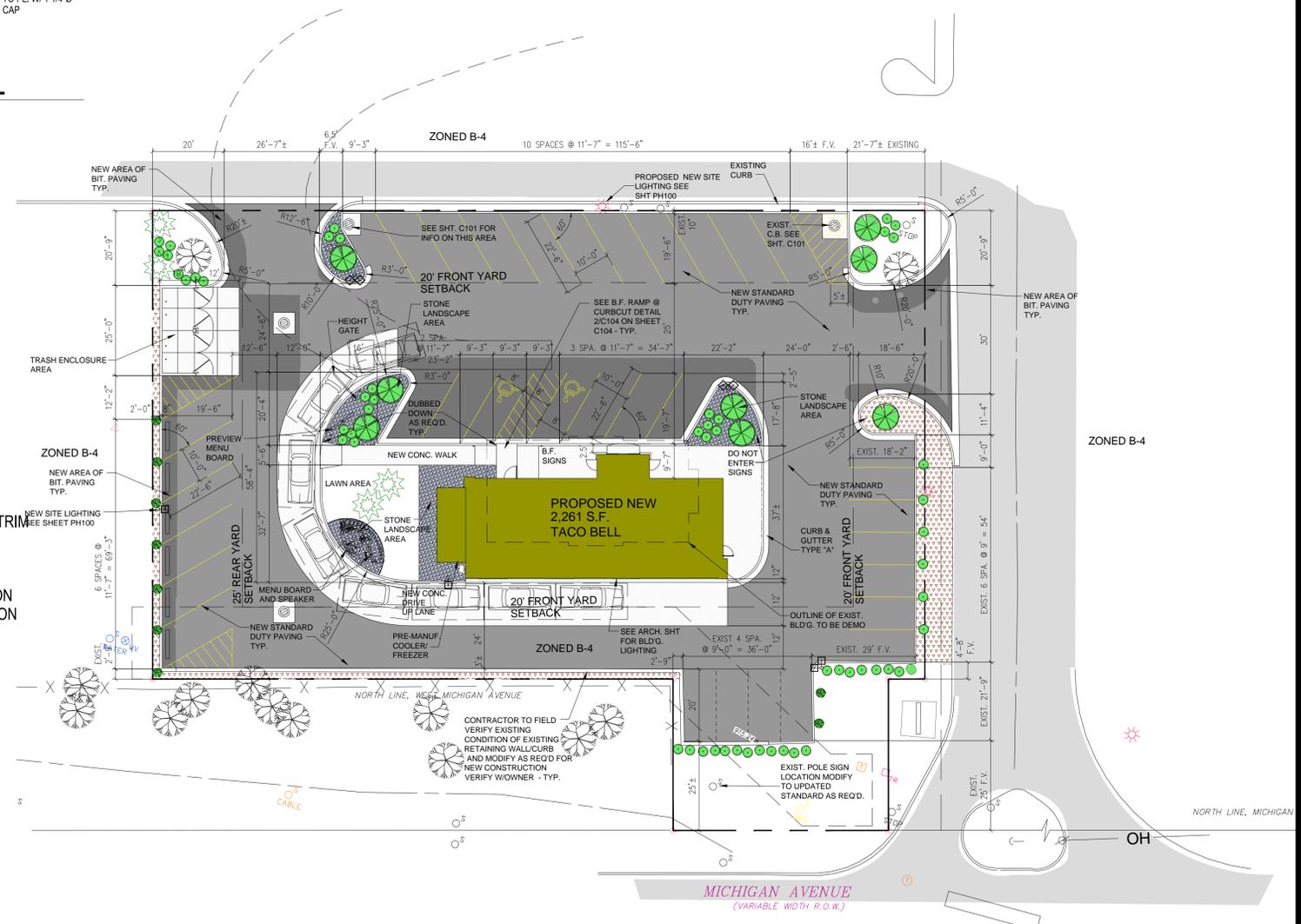
- THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS, INCLUDING THE CONTRACTORS, SUBCONTRACTORS, AND MANUFACTURERS SHOP DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL CORRECTIONS HAVE BEEN MADE.
- CONSTRUCTION SHALL COMPLY WITH ALL CODES, STANDARD BUILDING PRACTICES AND REGULATIONS OF GOVERNING AUTHORITIES. CONTRACTOR SHALL NOTIFY MISS DIG PRIOR TO THE START OF CONSTRUCTION.
- DRAWINGS:** ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS IF INCLUDED. CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. THE OWNER SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. **DO NOT SCALE DRAWINGS.**
- COMPLETENESS:** ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT. IN THE CASE OF CONFLICTING QUANTITIES / VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
- PERMITS:** EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABORERS, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINER'S COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE ARCHITECT.
- DOCUMENTATION:** THE CONTRACTOR SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
- AT COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE CONTRACTOR WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS RELATED TO THEIR WORK CATEGORY AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT, THAT THE WORK IS COMPLETE ACCORDING TO ALL CONTRACT DOCUMENTS, AND THE CORRECTIONS TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVER SAME TO THE ARCHITECT.
- DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCE, LAWS, CODES, RULES OR REGULATIONS GOVERNING THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR ARCHITECT.
- FIELD MEASURE AND VERIFY OR REVISE DIMENSIONAL INFORMATION TO THE EXTENT REQUIRED TO EXECUTE THE WORK REQUIRED ON THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF EXISTING CONDITIONS INVALIDATE THE DRAWING OR WHEN QUESTIONS ARISE REGARDING THE INTENT OF THE DRAWINGS.
- UNLESS INDICATED OTHERWISE, F.L.R. MAT'L CHANGES SHALL OCCUR BENEATH DOORS OR THRESHOLDS.
- WHERE OPENINGS IN INTERIOR PARTITIONS OCCUR (INCLUDING DOORS AND WINDOWS), CONSTRUCTION ABOVE OPENINGS SHALL MATCH ADJ. CONSTRUCTION IN FINISH AND FIRE RATING.
- GENERAL CONTRACTOR IS TO VERIFY LOCATION OF ALL EMERGENCY AND EXIT LIGHTS WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
- MECHANICAL AND ELECTRICAL CONTRACTORS MUST COORDINATE WITH OTHER TRADES TO ASSURE COMPATIBILITY INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - STRUCTURAL LOADING
 - POWER REQUIREMENTS
 - CLEARING FOR INSTALLATION & MAINTENANCE
 MECHANICAL AND ELECTRICAL CONTRACTORS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES & ALL APPLICABLE MUNICIPAL AND OTHER GOVERNMENTAL APPROVALS.
- MECHANICAL SCOPE, FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - HEATING AND COOLING REQUIREMENTS
 - AIR HANDLING UNIT(S)
 - FIRE PROTECTION SYSTEM(S)
 - PLUMBING SYSTEM
 - TEMPERATURE CONTROL SYSTEM
 - SUPPLY DIFFUSERS, RETURN AIR GRILLS
 - DUCTWORK, PIPING & INSULATION
 - FIRE AND EXHAUST DAMPERS
 ELECTRICAL SCOPE: LIGHTING SYSTEM SHALL BE PROVIDED TO MAINTAIN LIGHT CONSISTENT WITH CURRENT IES STANDARDS. FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - CONDUIT
 - WRNG
 - PANELS
 - TRANSFORMERS
 - SWITCHES
 - RECEPTACLES
 - COMMUNICATION
 - EXIT SIGNS
 - SMOKE DETECTORS
 - LIGHT FIXTURES
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON THIS SITE WHICH ARE NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND PROTECT ALL UTILITIES ON SITE, WHETHER SHOWN ON THIS PLAN OR NOT.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURVEY AS PART OF THIS WORK.
- CONTRACTOR SHALL PROVIDE ALL SIGNS, FENCING, LIGHTS, BARRICADES, ETC. NECESSARY TO PROVIDE FOR PUBLIC SAFETY DURING CONSTRUCTION.
- EARTHWORK CONTRACTORS SHALL COMPLY AND BE RESPONSIBLE FOR BERMING AND FILTERING OF PROPERTY LINES WHERE EROSION COULD OCCUR. MINIMIZATION OF TRACKING OF MATERIALS OFF-SITE, SWEEPING AND CLEANING OF ADJACENT STREETS AS NECESSARY, AND OBTAINING SOIL EROSION CONTROL PERMITS.
- REQUEST FOR CONSTRUCTION STAKING SHALL BE DIRECTED TO THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THEIR ACTUAL NEED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR THE PROTECTION AND/OR RELOCATION OF EXISTING UTILITIES.
- ALL MATERIALS PLACED DURING CONSTRUCTION SHALL BE IN NEW CONDITION, SHALL BE FREE FROM DEFECTS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE.
- THE CONTRACTOR SHALL CONNECT THE ROOF DRAINS TO THE ON SITE STORM SEWER SYSTEM.



LATCH DETAIL



2 DUMPSTER DETAILS
SCALE: NO SCALE



1 SITE PLAN
SCALE: 1" = 20'-0"

RDC
RETAIL DESIGN CONSULTANTS
7580 48TH ST. SE.
GRAND RAPIDS MI 49512
T.616.634.2253
GLENN@RDC-LLC.COM

JVB LLC
JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL
CONSULTATION & DESIGN
SERVICES
2065 FOXRIDGE
GRAND RAPIDS, MI 49505
PHONE: 616-443-2524
EMAIL: JVB@JVBUILDARCH.COM/CAST.NET

TACO BELL

TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
15955 W MICHIGAN AVE
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15
This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2015

SEAL
DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 014028

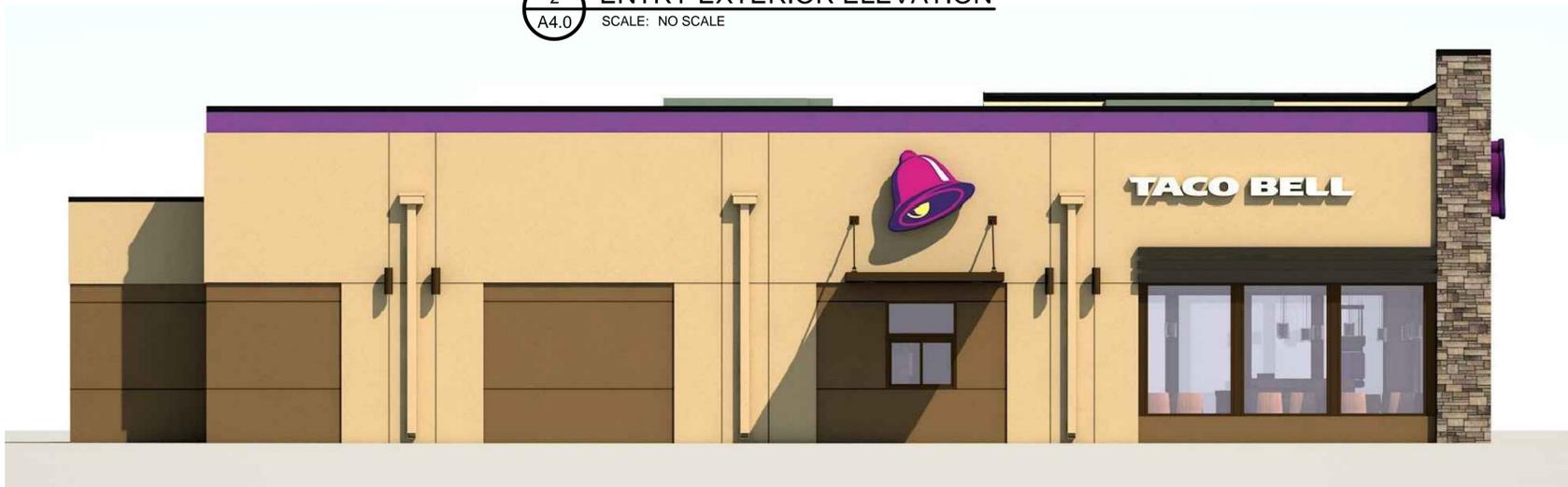
C1.0



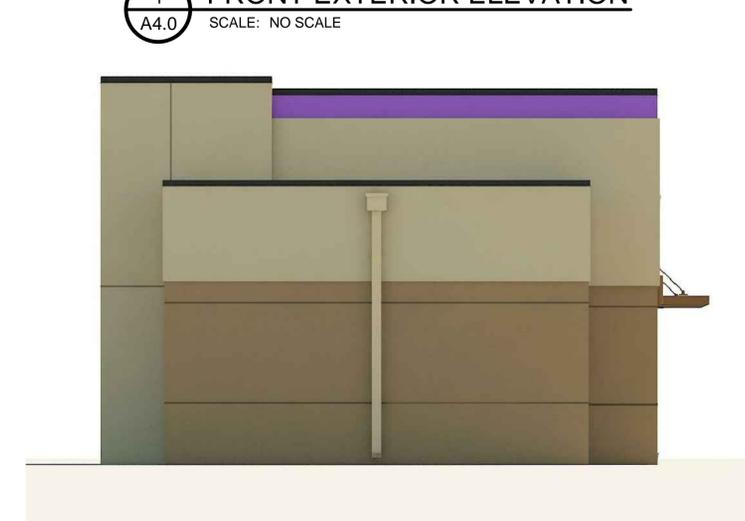
2 ENTRY EXTERIOR ELEVATION
A4.0 SCALE: NO SCALE



1 FRONT EXTERIOR ELEVATION
A4.0 SCALE: NO SCALE



4 DRIVE THRU EXTERIOR ELEVATION
A4.0 SCALE: NO SCALE



3 REAR EXTERIOR ELEVATION
A4.0 SCALE: NO SCALE



RDC

RETAIL DESIGN CONSULTANTS
7580 48TH ST. SE.
GRAND RAPIDS MI 49512
T. 616.634.2253
GLENN@RDC-LLC.COM

JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL
CONSULTATION & DESIGN
SERVICES
2065 FOXRIDGE
GRAND RAPIDS, MI 49505
PHONE: 616-443-2524
EMAIL: JVB@CIVILARCH.COM/CAST.NET

JVB
LLC
EMAIL: JVB@CIVILARCH.COM/CAST.NET



TACO BELL
TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
15955 W MICHIGAN AVE
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15

This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2015



DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 014028

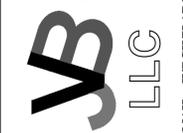
R1.0



RETAIL DESIGN CONSULTANTS
 7580 48TH ST. SE.
 GRAND RAPIDS MI 49512
 T.616.634.2253
 GLENN@RDC-LLC.COM

JAMES VANDEN BERGE
 CIVIL & ARCHITECTURAL
 CONSULTATION & DESIGN
 SERVICES

2065 FOXRIDGE
 GRAND RAPIDS, MI 49505
 PHONE: 616-443-2524



EMAIL: JVB@CIVILARCH.COMCAST.NET



TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
 15955 W MICHIGAN AVE
 CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15

This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without the written consent of JVB LLC.

SEAL

DRAWN BY JVB
 CHECKED BY JVB
 PROJECT NUMBER 014028

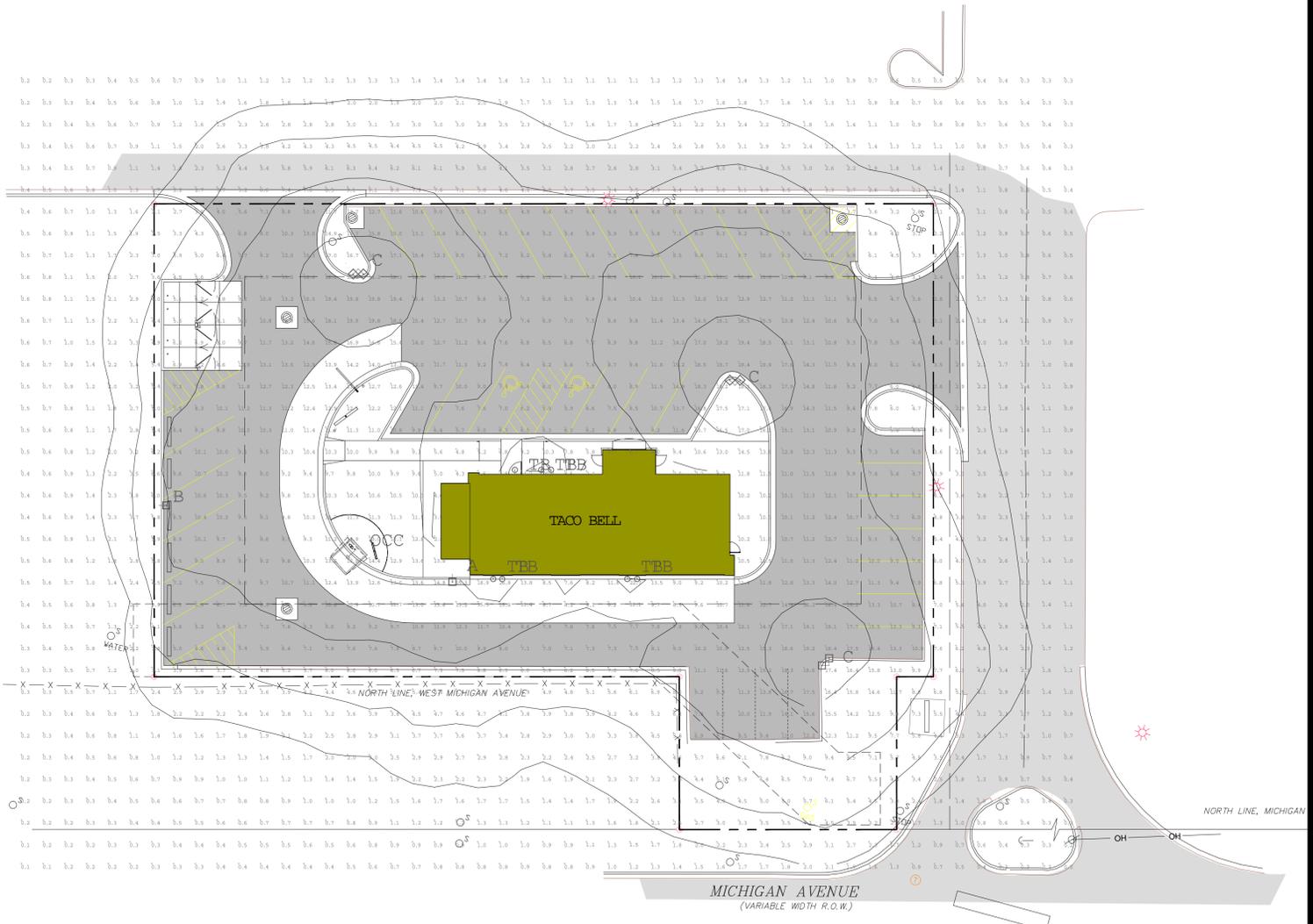
PHO.1

Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	5.50	26.8	0.1	55.00	268.00
DRIVE-THRU LANE SURFACE	12.14	26.8	7.6	1.60	3.53
PARKING LOT SURFACE	10.05	19.9	3.6	2.79	5.53

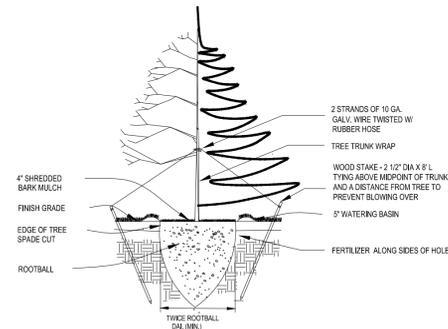
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Lum. Watts	Description
□	1	A	SINGLE	110000	0.720	1080	ACCU 95200-210 / 95200-425S
□	1	B	SINGLE	110000	0.720	1080	ACCU 95200-PP10 / 95200-HES / 95200-425S
⊘	3	C	2 @ 90 DEGREES	110000	0.720	1080	(2) ACCU 95200-PP10 / 95200-425D90
□	1	OCC	SINGLE	12500	0.700	185	ORDER CONFIRMATION CANOPY
○	7	TB	SINGLE	1230	0.900	36	ACCU 05247-051-052 @ 9.17' A.F.G.

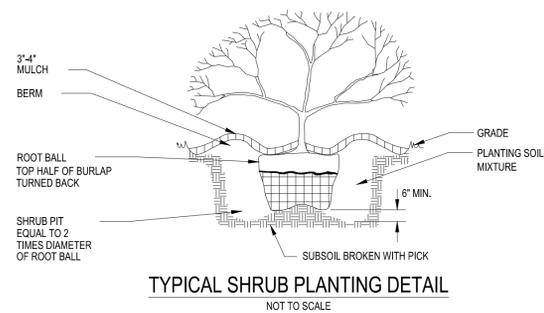
SITE FIXTURES ARE 1000W METAL HALIDE w/ SAG LENSES
 FIXTURE B HAS A HOUSE SIDE SHIELD
 POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.



CONTRACTOR SHALL PROVIDE SPECIFIED TREES AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI 280.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

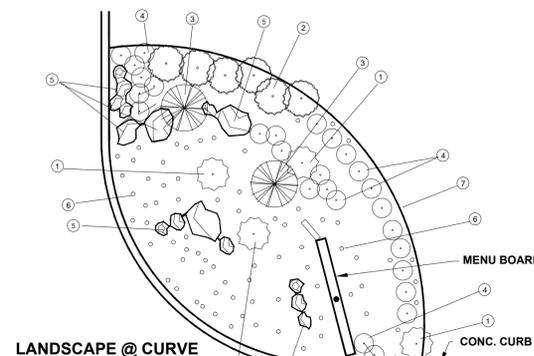


TREE SPADE PLANTING DETAIL



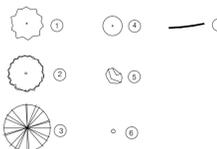
TYPICAL SHRUB PLANTING DETAIL

- NOTES:**
1. 1\"/>



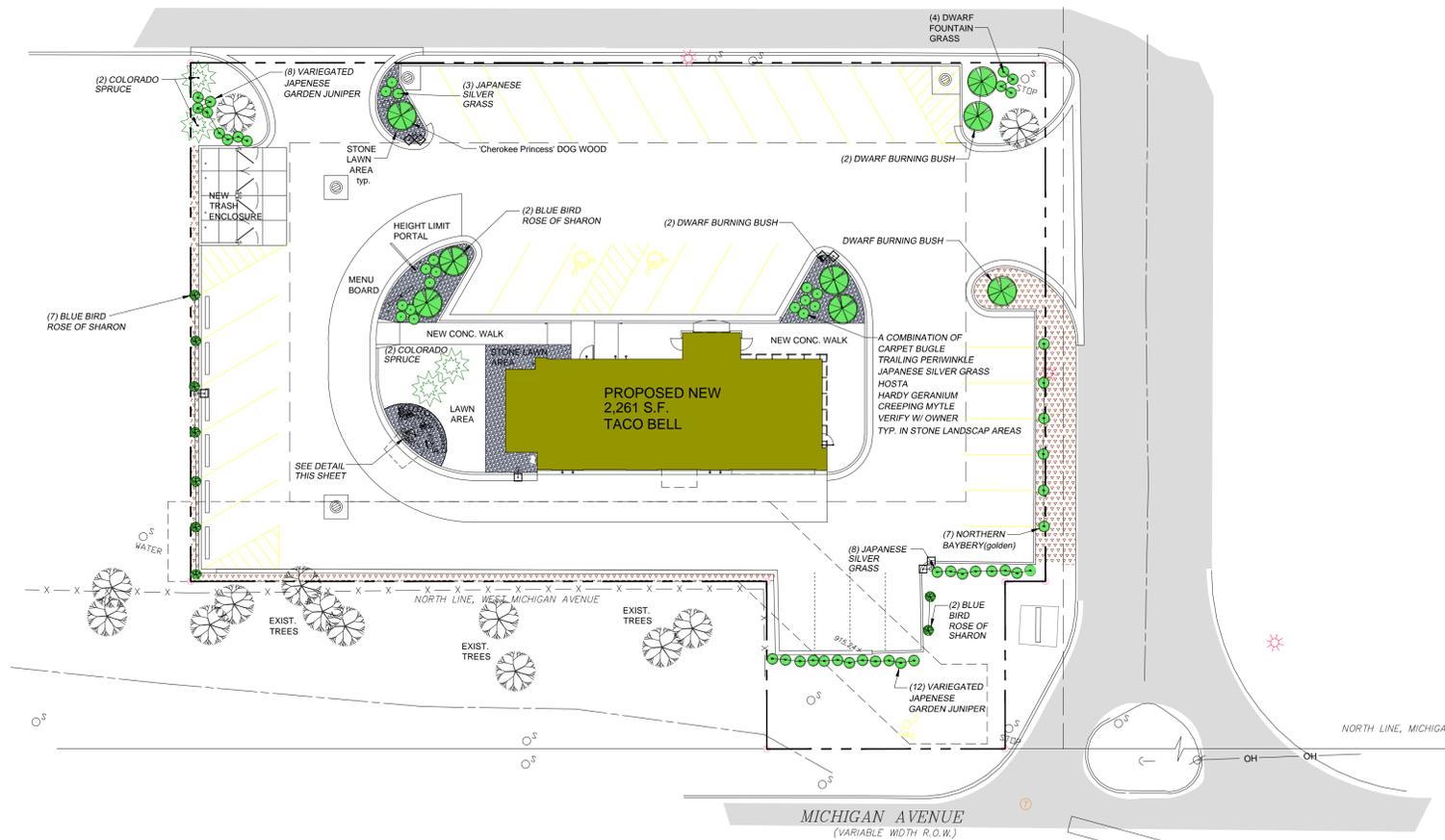
REGION 5 - MIDWEST					
NO.	MATERIAL	QTY	SIZE	HGT.	SP.
1	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.	12"	12"
2	JAPANESE BARBERRY BERBERIS THUNBERGII	PER PLAN	3 GAL.	15"	15"
3	SOAPWOOD YUCCA GLAUCA	PER PLAN	5 GAL.		
4	DWARF GOLDEN HANDBERRY TRILIA OCCIDENTALIS 'PHENOMENAL'	PER PLAN	5 GAL.	24"	24"
5	LIMESTONE BOULDER SAND GRAY - #1024"	PER PLAN	6\"/>		

MATERIALS LEGEND



PLANT MATERIAL SCHEDULE

AMOUNT		COMMON NAME	LATIN NAME	SIZE
4	EVERGREEN	COLORADO SPRUCE	<i>Picea pungens</i>	5' HT.
1	UNDERSTORY	'Cherokee Princess' DOG WOOD	<i>Cornus florida</i>	2 1/2" Cal
3	SHRUB DEC.	DWARF BURNING BUSH	<i>Euonymus alata 'Compacta'</i>	18"-24"
20	SHRUB EVER.	VARIEGATED JAPANESE GARDEN JUNIPER	<i>Juniperus chinensis 'Procumbens Variegata'</i>	18"-24"
7	SHRUB DEC.	NORTHERN BAYBERRY(golden)	<i>Berberis thunbergii 'Aurea'</i>	18"-24"
9	SHRUB DEC.	BLUE BIRD ROSE OF SHARON	<i>Hibiscus Syriacus "Blue Bird"</i>	18"-24"
AS REQ'D. PER PLAN		CARPET BUGLE	<i>Ajuga reptans</i>	VARIES
		TRAILING PERIWINKLE	<i>Vinca minor</i>	VARIES
		JAPANESE SILVER GRASS	Little Fountain & Little Zebra	VARIES
AS REQ'D. PER PLAN		HOSTA		VARIES
		HARDY GERANIUM		VARIES
		CREEPING MYTLE		VARIES



1
L100

LANDSCAPE SITE PLAN

SCALE: 1" = 20'-0"



RETAIL DESIGN CONSULTANTS
7580 48TH ST. SE.
GRAND RAPIDS MI 49512
T.616.634.2253
GLENN@RDC-LLC.COM

JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL
CONSULTATION & DESIGN
SERVICES
2065 FOXRIDGE
GRAND RAPIDS, MI 49505
PHONE: 616-443-2524
EMAIL: JVB@CIVILARCH.COMCAST.NET



TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
15955 W MICHIGAN AVE
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15

This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without the written consent of JVB LLC. © Unpublished work 2015

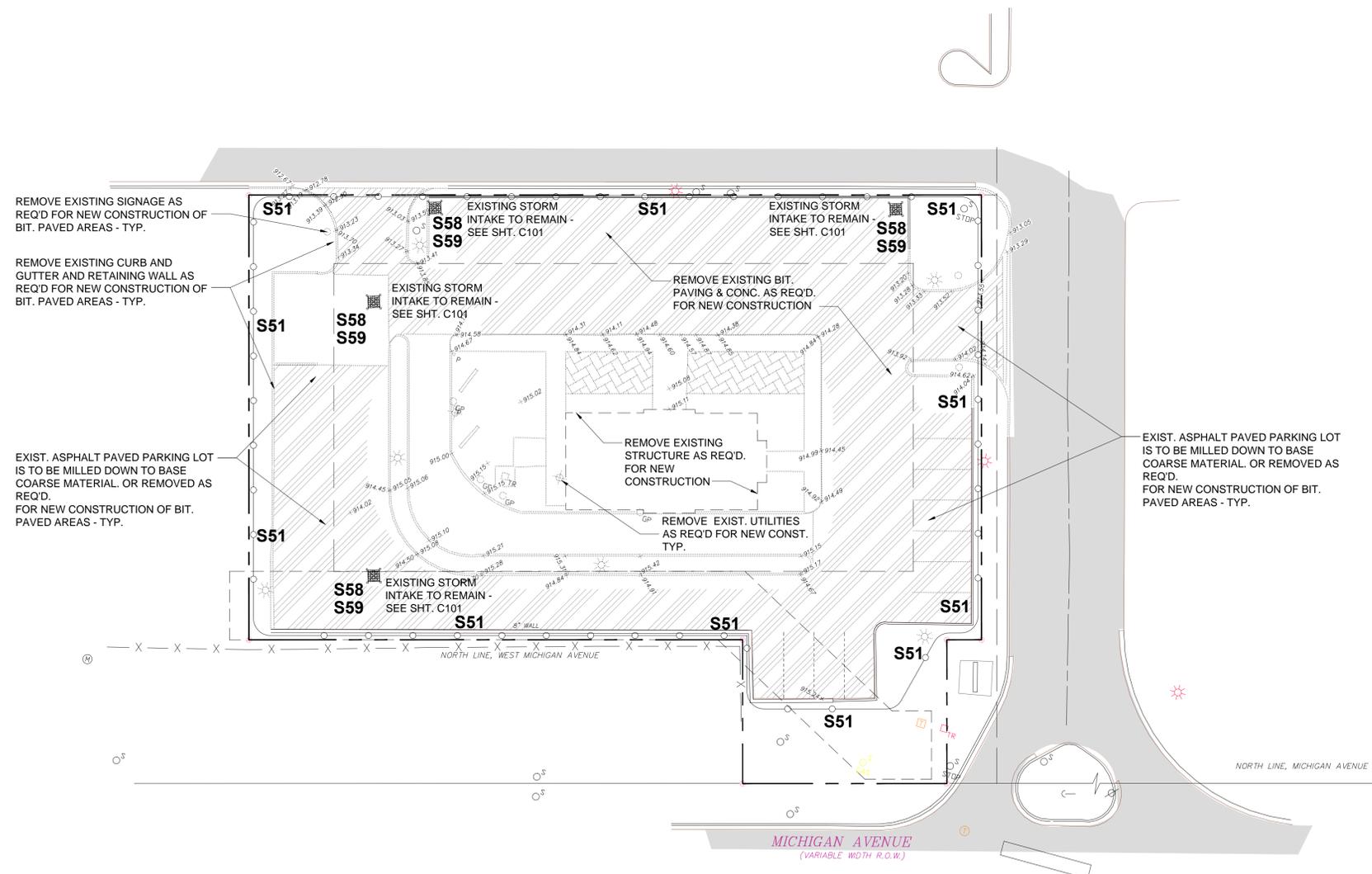
SEAL

DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 014028

L100

**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET
S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
SEDIMENT CONTROLS			
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.
S59	INLET PROTECTION FABRIC FENCE		Use at stormwater inlets, especially at construction sites.
E12	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.



1
SITE DEMOLITION/SILTATION PLAN
SCALE: 1" = 20'-0"

RDC
 RETAIL DESIGN CONSULTANTS
 7580 48TH ST. SE.
 GRAND RAPIDS MI 49512
 T.616.634.2253
 GLENN@RDC-LLC.COM

JVB **LLC**
 JAMES VANDEN BERGE
 CIVIL & ARCHITECTURAL
 CONSULTATION & DESIGN
 SERVICES
 2065 FOXRIDGE
 GRAND RAPIDS, MI 49505
 PHONE: 616-443-2524
 EMAIL: JVB@JVBARCH.COM

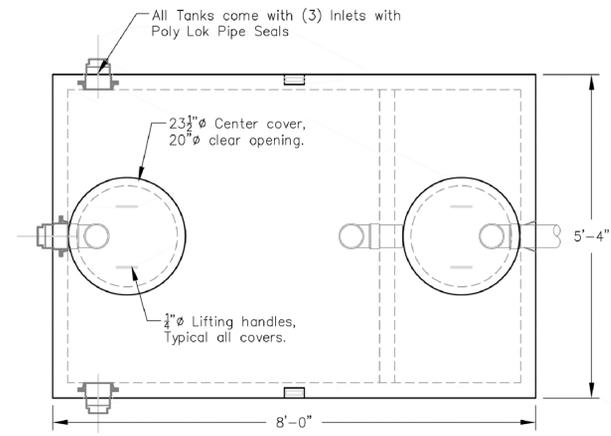


TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
 15955 W MICHIGAN AVE
 CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15
This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2015

SEAL
 DRAWN BY JVB
 CHECKED BY JVB
 PROJECT NUMBER 014028

D1.0

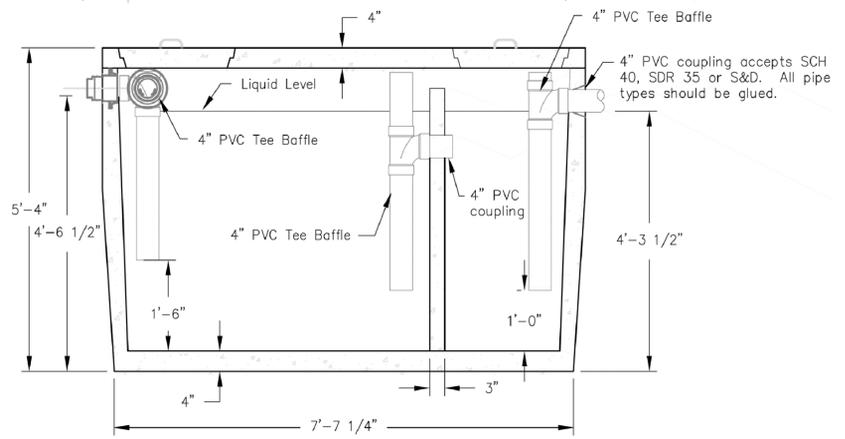


General Notes:

- Concrete Specifications:**
- 1) 4000 psi @ 28 Days
 - 2) 4%-6% Entrained Air
 - 3) Tank Penetrations are integrally cast
 - 4) All joints sealed with butyl rubber joint sealant

Grease Trap Information:

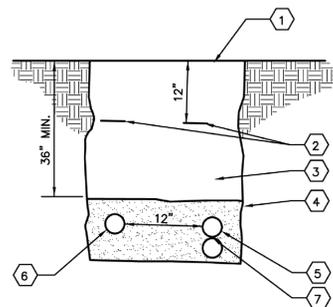
- 1) Tanks Should be pumped as needed
- 2) Access covers should have risers to bring cover access to grade.
- 3) Tanks can be vacuum tested at an additional cost



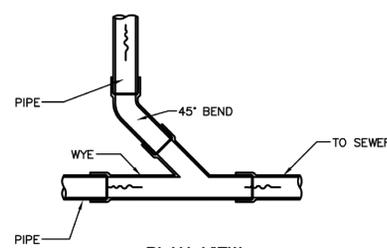
1 SIM. TO GREASE TRAP DETAIL
C104 SCALE: NO SCALE

KEYED NOTES

- 1 TOPSOIL & SEED, OR PAVEMENT AS DETAILED ELSEWHERE.
- 2 CONTINUOUS METALLIC WARNING TAPE
- 3 CLEAN SELECT GRANULAR BACKFILL
- 4 6" CLEAN SAND ENVELOPE
- 5 4" PVC ELECTRICAL CONDUITS (SCHEDULE 40), QUANTITY AS REQUIRED
- 6 4" PVC TELEPHONE CONDUIT (SCHEDULE 40), QUANTITY AS REQUIRED
- 7 MAINTAIN 2" MINIMUM SPACING BETWEEN CONDUITS.



ELECTRICAL & COMMUNICATIONS SERVICE TRENCH
N.T.S.

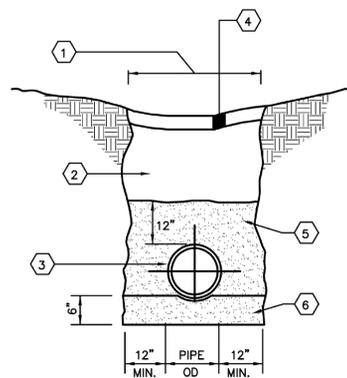


PLAN VIEW

WYE CONNECTION
N.T.S.

KEYED NOTES

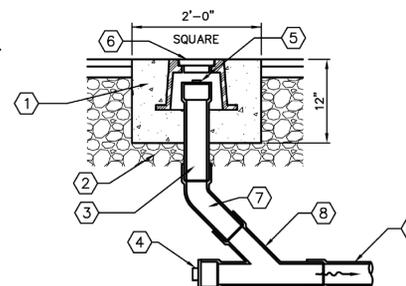
- 1 EXCAVATE WIDTH OF TRENCH AS NEEDED
- 2 PLACE SUITABLE SOIL OR GRANULAR BACKFILL IN 6" MAX. LIFTS. SUITABLE SOIL SHALL BE COMPACTED TO 90% MIN. (98% MIN. UNDER PAVEMENT) DRY DENSITY, PER ASTM D698, GRANULAR BACKFILL SHALL BE COMPACTED TO 75% (80% UNDER PAVEMENT) RELATIVE DENSITY, PER ASTM 4353. GRANULAR BACKFILL REQUIRED UNDER PAVEMENT.
- 3 PROPOSED STORM OR SANITARY SEWER
- 4 TOPSOIL, SEED, AND MULCHING OR PAVEMENT AS DETAILED ELSEWHERE.
- 5 NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE
- 6 NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 6" BELOW THE BOTTOM OF THE PIPE



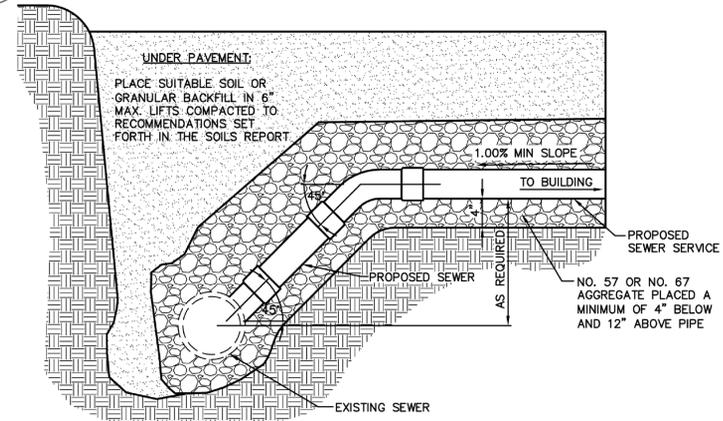
SEWER TRENCH
N.T.S.

KEYED NOTES

- 1 CONCRETE, MATCH PAVEMENT SPEC.
- 2 6" (MIN.) AGGREGATE BASE
- 3 6" DIA. CLEAN-OUT PIPE
- 4 CAP AND SEAL CONDUIT
- 5 THREADED CLEAN-OUT CAP
- 6 CAST-IRON MONUMENT BOX, EJIW 1570 OR APPROVED EQUAL
- 7 45° BEND
- 8 WYE
- 9 SEWER



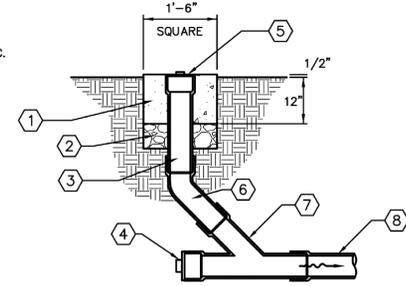
CLEAN OUT (PAVEMENT AREA)
N.T.S.



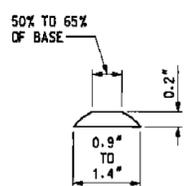
SEWER RISER (TAP)
N.T.S.

KEYED NOTES

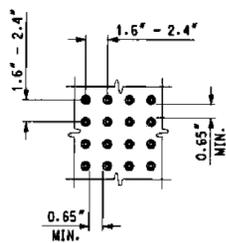
- 1 CONCRETE, MATCH PAVEMENT SPEC.
- 2 6" (MIN.) AGGREGATE BASE
- 3 6" DIA. CLEAN-OUT PIPE
- 4 CAP AND SEAL CONDUIT
- 5 THREADED CLEAN-OUT CAP
- 6 45° BEND
- 7 WYE
- 8 SEWER



CLEAN OUT (LAWN AREA)
N.T.S.



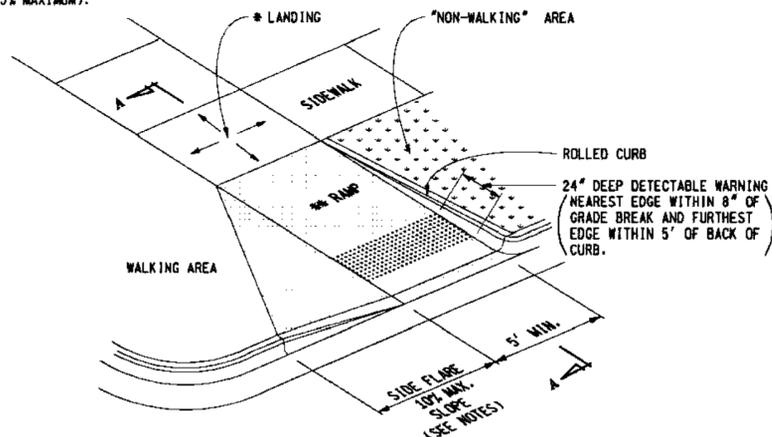
DOME SECTION



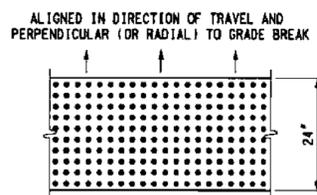
DOME SPACING

* MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.

** MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (8.3% MAXIMUM).



2 B.F. RAMP DETAIL @ CURB CUTS
C104 SCALE: NO SCALE



DOME ALIGNMENT



RETAIL DESIGN CONSULTANTS
7580 48TH ST. SE.
GRAND RAPIDS MI 49512
T.616.634.2253
GLENN@RDC-LLC.COM

JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL
CONSULTATION & DESIGN
SERVICES

2065 FOXRIDGE
GRAND RAPIDS, MI 49505
PHONE: 616-443-2524



EMAIL: JVB@CIVILARCH@COMCAST.NET



TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
15955 W MICHIGAN AVE
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

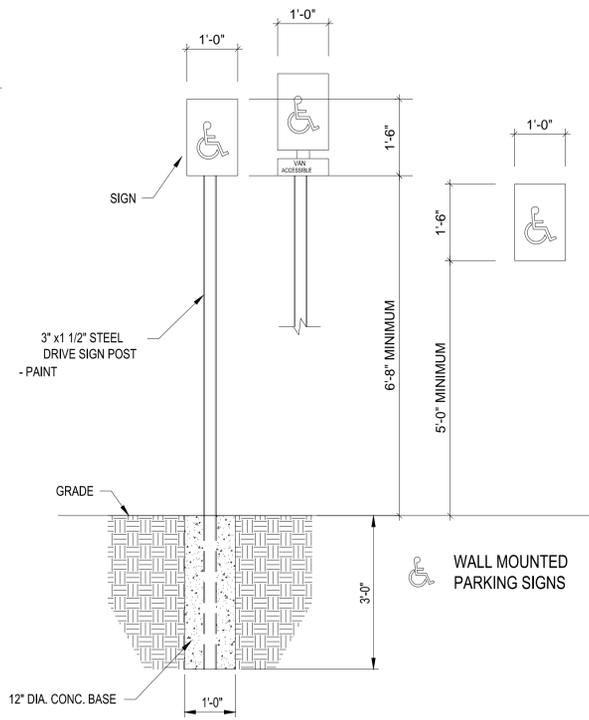
PRELIM. 1/19/15

This drawing is the sole property of JB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2008

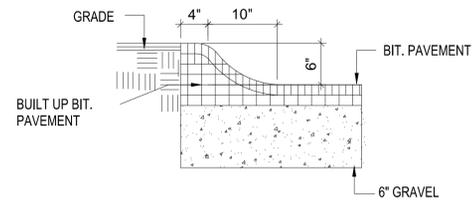
SEAL

DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 014028

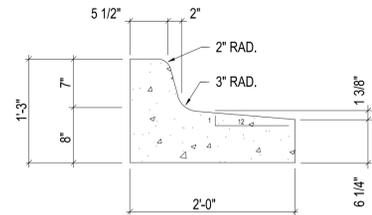
C104



TYPICAL B.F. SIGN POST DETAIL



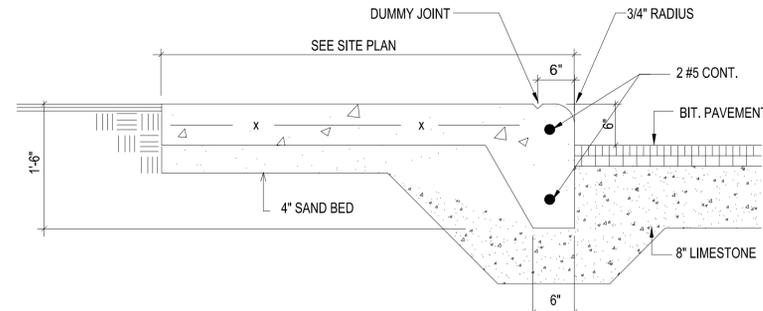
TYPICAL ASPHALT ROLLED CURB DETAIL



TYPE "A" 24" CURB AND GUTTER

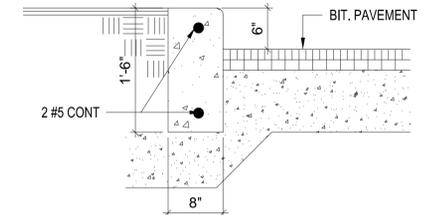
2 DETAIL C103 SCALE: 1" = 1'-0"

1 NOT USED C103 SCALE: 1" = 1'-0"



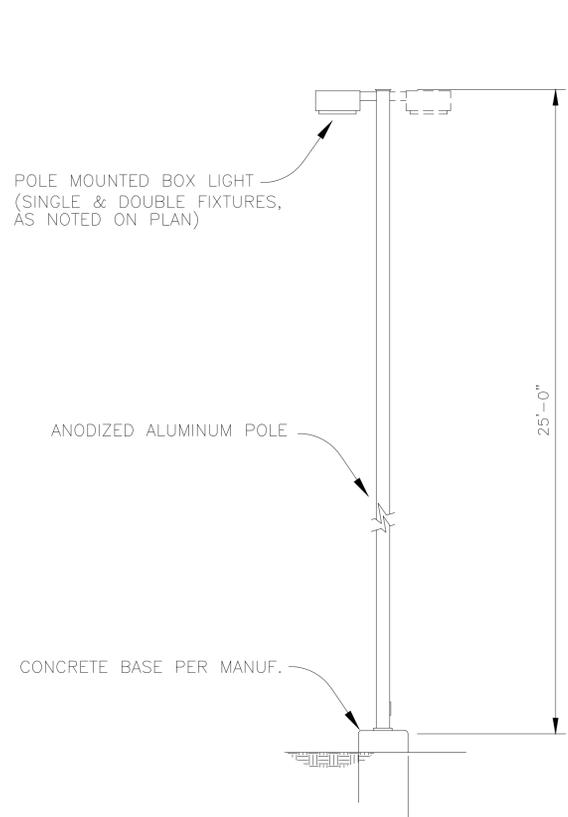
TYPICAL CURB WALK DETAIL

4 DETAIL C103 SCALE: 1" = 1'-0"

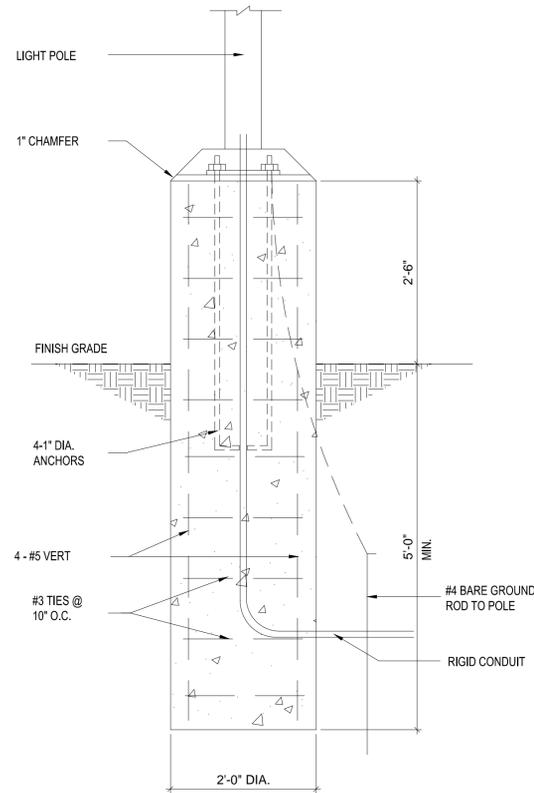


TYPICAL CURB DETAIL

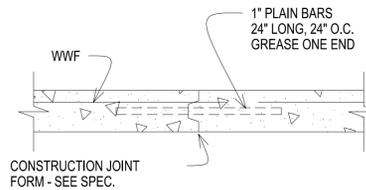
3 DETAIL C103 SCALE: 1" = 1'-0"



PARKING LOT LIGHT DETAIL

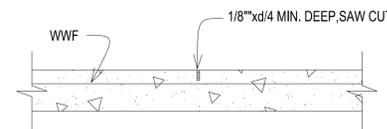


TYPICAL LIGHT POLE BASE DETAIL



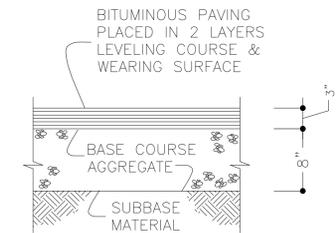
TYPICAL CONSTRUCTION JOINT DETAIL

7 DETAIL C103 SCALE: NO SCALE



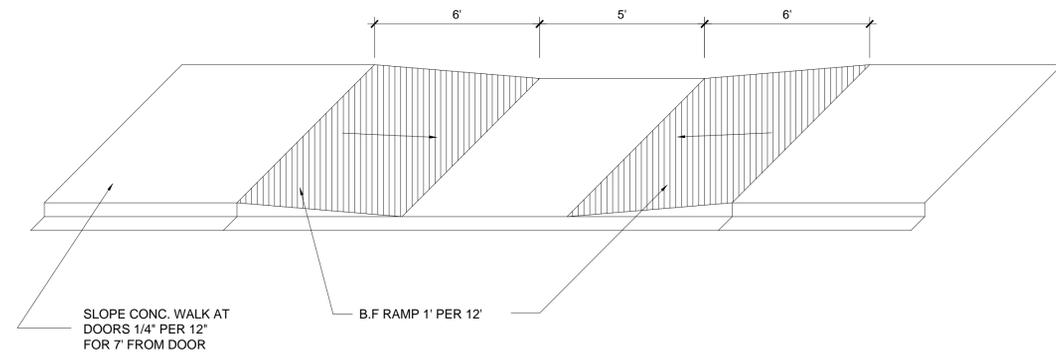
TYPICAL CONTROL JOINT DETAIL

6 DETAIL C103 SCALE: NO SCALE



TYPICAL STANDARD DUTY PAVING SECTION

5 DETAIL C103 SCALE: NO SCALE



BARRIER FREE RAMP DETAIL

7 DETAIL C103 SCALE: NO SCALE

RDC
 RETAIL DESIGN CONSULTANTS
 7580 48TH ST. SE.
 GRAND RAPIDS MI 49512
 T. 616.634.2253
 GLENN@RDC-LLC.COM

JVB LLC
 JAMES VANDEN BERGE
 CIVIL & ARCHITECTURAL
 CONSULTATION & DESIGN
 SERVICES
 2065 FOXRIDGE
 GRAND RAPIDS, MI 49505
 PHONE: 616-443-2524
 EMAIL: JVB@CIVILARCH.COM/CAST.NET

TACO BELL

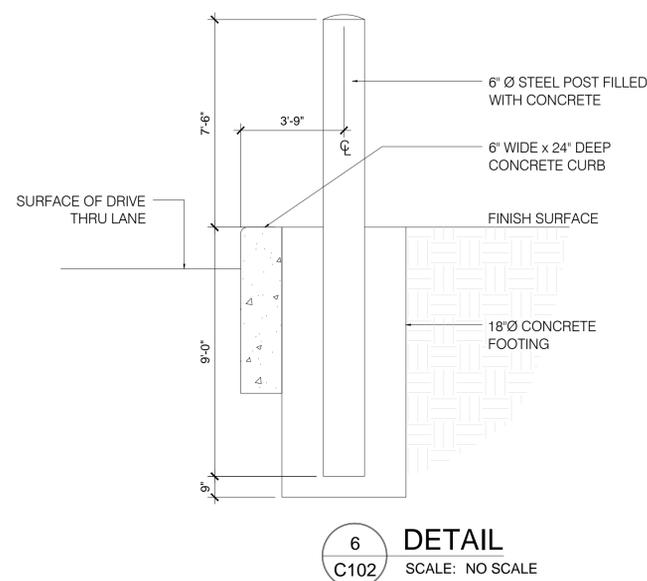
TACO BELL #5047
 CHICAGO DIVERSIFIED
 FOODS CORP.
 15955 W MICHIGAN AVE
 CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM 1/19/15

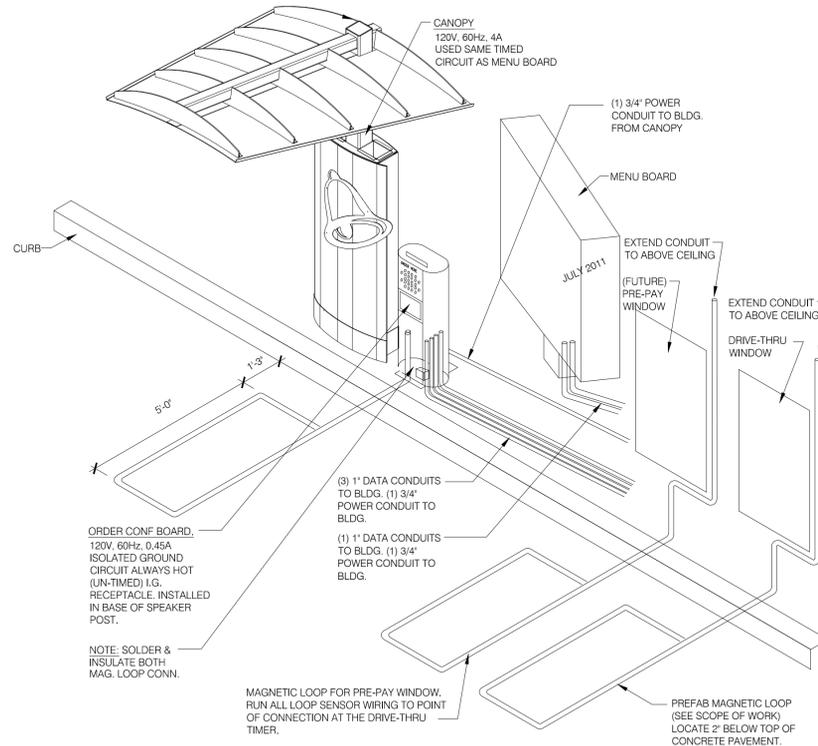
This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2008

SEAL
 DRAWN BY JVB
 CHECKED BY JVB
 PROJECT NUMBER 014028

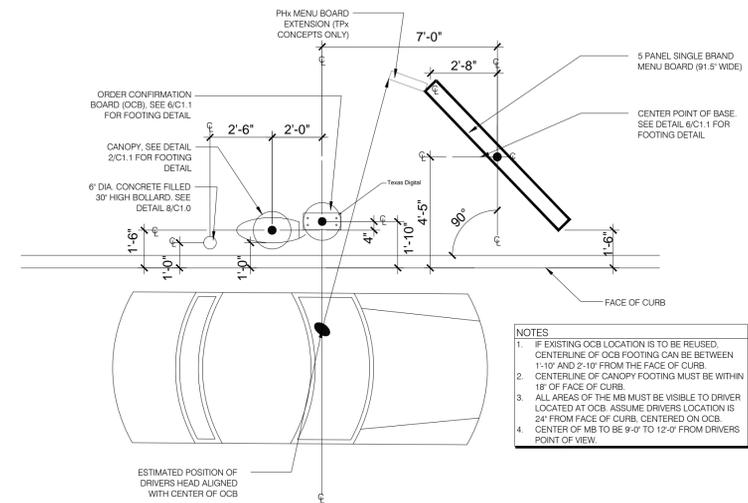
C103



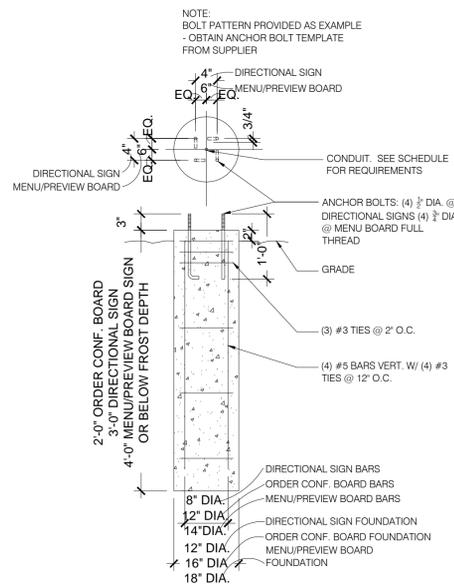
6
C102 **DETAIL**
SCALE: NO SCALE



5
C102 **DRIVE UP SPEAKER DETAIL**
SCALE: NO SCALE



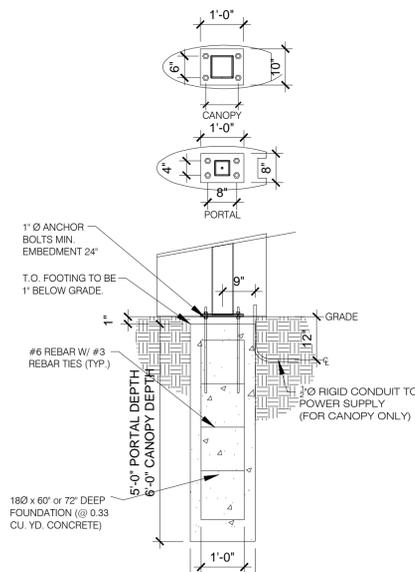
1
C102 **DRIVE UP SPEAKER DETAIL**
SCALE: NO SCALE



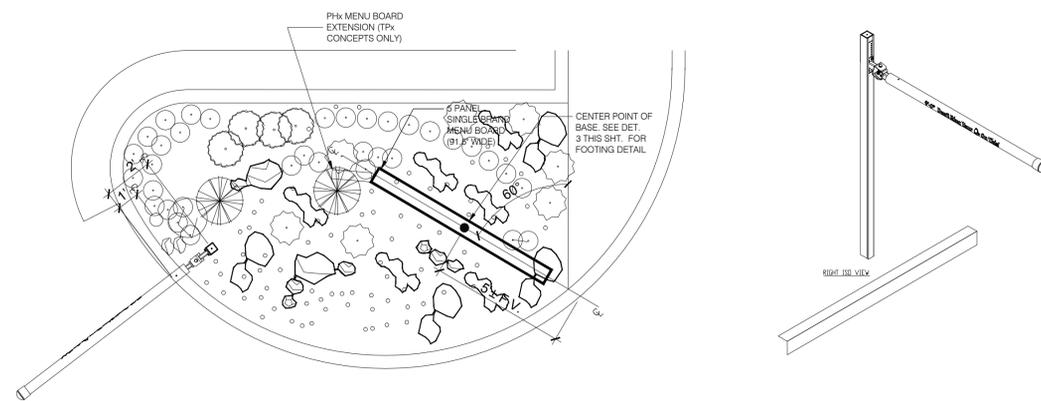
4
C102 **DETAIL**
SCALE: NO SCALE

DEVICE	POWER	DATA
DIRECTIONAL	(1) 1"	-
OCB	(1) 1"	(3) 1"
MENU BOARD	(1) 1"	(1) 1"

NOTE:
ALL CONDUIT TO BE MIN. 12\"/>



3
C102 **DETAIL**
SCALE: NO SCALE



2
C102 **DRIVE UP HEIGHT RESTRICTION DETAIL**
SCALE: NO SCALE



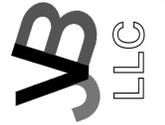
RETAIL DESIGN CONSULTANTS

7580 48TH ST. SE.
GRAND RAPIDS MI 49512
T. 616.634.2253
GLENN@RDC-LLC.COM

JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL
CONSULTATION & DESIGN
SERVICES

2065 FOXRIDGE
GRAND RAPIDS, MI 49505
PHONE: 616-443-2524

EMAIL: JVB@VILARCH@COMCAST.NET



TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
15955 W MICHIGAN AVE
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15

This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work, 2008

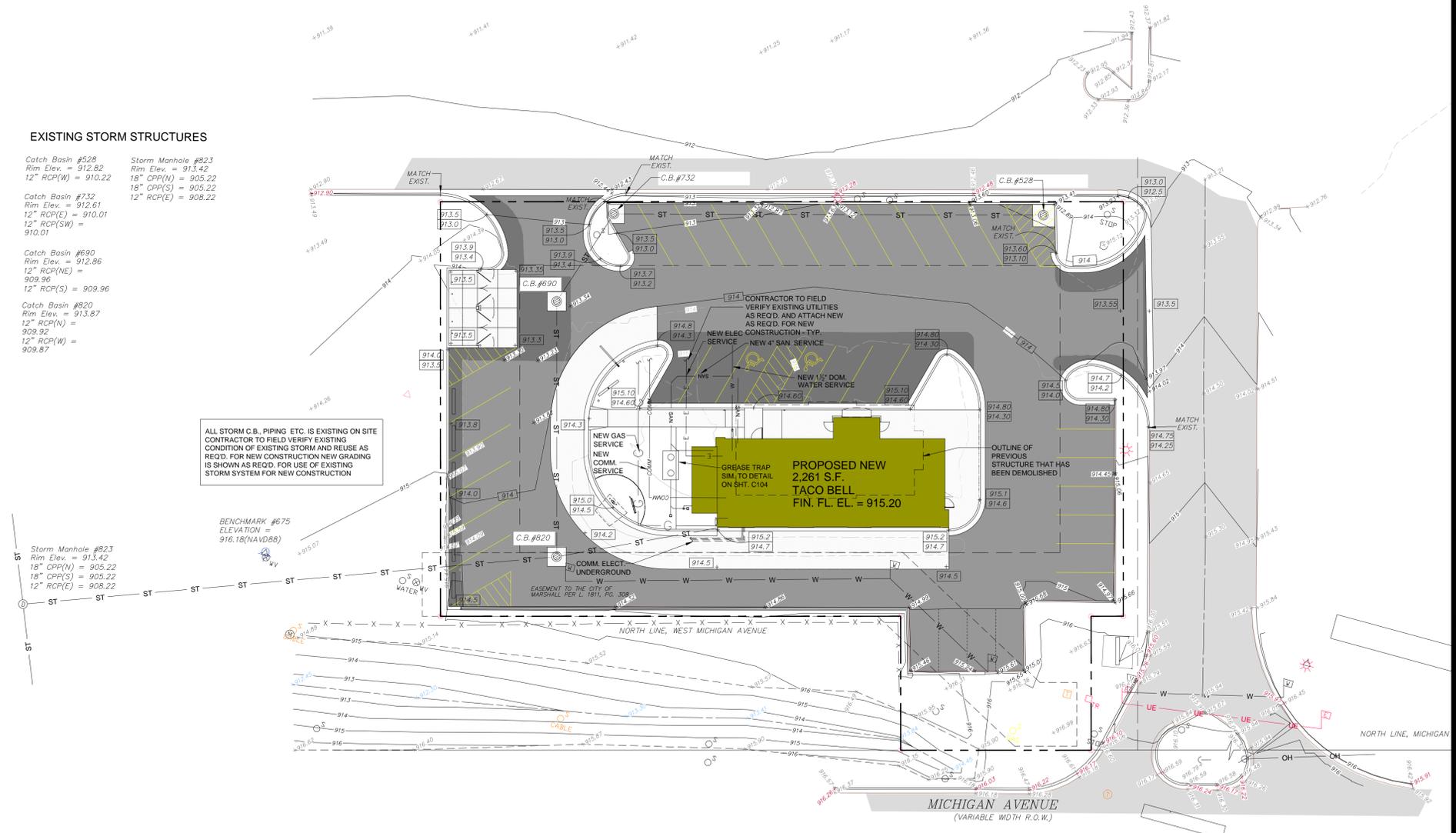
SEAL

DRAWN BY JVB
CHECKED BY JVB
PROJECT NUMBER 014028

C102

EXISTING STORM STRUCTURES

Catch Basin #528 Rim Elev. = 912.82 12" RCP(W) = 910.22	Storm Manhole #823 Rim Elev. = 913.42 18" CPP(N) = 905.22 18" CPP(S) = 905.22 12" RCP(E) = 908.22
Catch Basin #732 Rim Elev. = 912.61 12" RCP(E) = 910.01 12" RCP(SW) = 910.01	
Catch Basin #690 Rim Elev. = 912.86 12" RCP(NE) = 909.96 12" RCP(S) = 909.96	
Catch Basin #820 Rim Elev. = 913.87 12" RCP(N) = 909.92 12" RCP(W) = 909.87	



RDC
 RETAIL DESIGN CONSULTANTS
 7580 48TH ST. SE.
 GRAND RAPIDS MI 49512
 T.616.634.2253
 GLENN@RDC-LLC.COM

JVB **LLC**
 JAMES VANDEN BERGE
 CIVIL & ARCHITECTURAL
 CONSULTATION & DESIGN
 SERVICES
 2065 FOXRIDGE
 GRAND RAPIDS, MI 49505
 PHONE: 616-443-2524
 EMAIL: JVB@CIVILARCH.COMCAST.NET



TACO BELL #5047
CHICAGO DIVERSIFIED
FOODS CORP.
 15955 W MICHIGAN AVE
 CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15
This drawing is the sole property of JVB LLC and is a copyrighted document and is not to be used or reproduced without their written consent. © Unpublished work 2015

SEAL
 DRAWN BY JVB
 CHECKED BY JVB
 PROJECT NUMBER 014028

1
C2.0 **UTILITY SITE PLAN**
 SCALE: 1" = 20'-0"

C2.0

Report To: Chairman Davis and Planning Commission Members
From: Natalie Dean, Director of Community Services
Subject: Quality Excavators, 817 Industrial Road
Meeting Date: March 11, 2015

SITE PLAN REVIEW

Case #: Site Plan #SP15.02
Zoning District: I-2 General Industrial District
Adjacent Zoning: I-2 (east, west, south) & I-1 (north)
Parcel(s): 002-530-00
Variances: ZBA 1977: Variance approved to have a mobile office on site
Proposed Use: Use remains as current-adding office/warehouse/parking

FINAL PLAN

Staff received an initial site plan for Quality Excavators at 817 Industrial Road on January 30, 2015. A city staff review was held on February 5, 2015 to discuss the plan and suggest revisions; the Engineer and owner both attended this meeting. Following the meeting, revisions to the plan included the paving of the parking area, adding curb to areas that were advantageous to the development, and information was given regarding permits that may be required from the Calhoun County Road Department and MDoT.

The site plan is for a proposed office and warehouse building, with parking, on a 3.12 acre site that is being utilized as a materials yard for an excavation business. The owner desires to have 2 office areas as well as indoor storage space for his equipment. The area to the east of the proposed building has been, and will continue to be, leased for trucks and trailers.

A 10' landscaped greenbelt has been proposed for the site and the parking is in compliance with the ordinance as shown by §156.323 (I) which states: "**Setbacks. No part of any off-street parking area shall be closer than ten feet to any street right-of-way line or the lot boundary of any residential, school, hospital, or other institutional use.**"

According to §156.391, Standards for Site Plan Approval, the Planning Commission shall consider the following standards during review:

(A) Adequacy of Information.

The information on the site plan being disseminated is the most current plan, is accurate, complete, and legible.

(B) Site Appearance and Preservation.

There are very few natural features on this property currently with the exception of a few existing trees along the west lot line and south lot line of the site.

(C) Pedestrian Access.

There is a walkway proposed in front of the building.

(D) Vehicular Circulation.

One new drive is proposed on the northwest side of the lot. Owner will have to consult MDoT for particulars due to right-of-way regulations. There are no foreseen issues. Vehicular circulation is not of concern due to the size of the lot.

(E) Parking and Loading.

The proposed parking spaces meet ordinance requirements at 9'x20'. A total of 8 parking spaces are required for this development and 8 have been proposed.

(F) Building Composition.

The proposed building is a simple pole-building style with metal siding and roofing.

(G) Screening.

Screening, in accordance with the landscape ordinance has been adequately provided for the developing portion of this site, per a licensed Landscape Architect.

(H) Exterior Lighting.

Lighting of the parking area will be provided with wall packs on the building.

(I) Impact upon Public Services.

City utility staff feel that utility plans and loads for this site will be manageable.





February 5, 2015

Allen J. Patrick, P.E.
Kebs, Inc.
2116 Haslett Road
Haslett, MI 48840

Josh Karaba
Quality Excavators
817 Industrial Road
Marshall, MI 49068

Re: Site plan #SP15.02 Quality Excavators, 817 Industrial Road

The City's review team met on Thursday, February 5th to discuss and review the site plan for Quality Excavators. Thank you for attending that meeting. Below you'll find a summary of the site plan evaluation:

Approved highlights:

- Engineering stamp
- Proper zoning has been marked
- Lot coverage is well within limits (40% max)
- Building setbacks have been met (Front: 60', Sides 30'/30', Rear 30')
- Proposed landscaped greenbelt in front is 10' wide.
- Elevation drawings have been submitted and height is permissible at 25' (60' max)
- One proposed driveway to the west of the property is 25.26' wide and permitted distance between both drives is approx. 200'. §156.330 Access Management : (3) The Planning Commission may allow an additional access point where the property has continuous frontage of over 300 feet, provided that the applicant can demonstrate that additional access is necessary to support the use and upon a recommendation by the City Engineer or other governmental agency. (lot is 312' wide)
- Parking spaces are 9x20 (as required) and the required spaces for the property is 8 spaces total. §156.324 (D) 5+ 1 per employee in the largest working shift.
- Lighting will be provided by wall packs
- DPW asks that owner maintains the leach basin.
- Electric will come in on the west side, 200 amp, single phase. Details on load requirement will be provided.
- No drainage concerns for the property.
- No signs are being proposed with the site plan.
- No exterior dumpster is proposed.

Public Service Building
900 S. Marshall Ave.
Marshall, MI 49068

P:269.781.3985 x.1505

cityofmarshall.com

- Landscaping is provided, per code.

Revisions

- Landscape Architect needs to seal landscape plans.
- Parking lot may not remain gravel. §156.327 (F) *The entire parking area, including parking spaces and maneuvering lanes, required under this chapter shall be provided with a dust-free surfacing of concrete or plant-mixed bituminous material according to the requirements of this chapter and the Marshall City Code.*
- Parking area to be curbed.
- Indicate how material will be kept from being tracked into the road.
- All current owners must sign Site Plan application before submittal to Planning Commission.

Again, thank you for your time spent with us in review of this plan. Please see the attached email from Carl Fedders on engineering specifics. The deadline for final submittal of the application and revised site plan is set for Wednesday, February 11, 2015. Upon the receipt of these materials, you will be placed on the Planning Commission agenda for Wednesday, March 11, 2015, 7:00 p.m. at City Hall. A representative of the plan should be available at that meeting. I look forward to seeing you through this process and thank you for investing in the City of Marshall. Please call or email if you should have any questions.

Sincerely,



Natalie Dean

Natalie Dean

From: Carl Fedders
Sent: Wednesday, February 04, 2015 8:22 AM
To: Natalie Dean
Subject: Quality Excavating

Ms. Dean~

The Engineering Department has completed its review of the proposed site plan at 817 Industrial Road and have the following comments:

- Industrial Road (M-227) is a State Trunkline. The proposed work in the right of way must be permitted through MDOT. Steve Albrecht 269.789.0560 or AlbrechtS@michigan.gov
- SESC permit must be issued by the Calhoun County Road Department prior to any earth disturbance. Erin Cummings 269.781.6101 or ecummings@calhouncountymi.gov
- The City of Marshall permits water services to be installed using HDPE SDR 11 pipe with tracer wire or with Type K copper. It is suggested that the developer investigate the cost savings associated with the HDPE material. Water specifications are available here: http://www.cityofmarshall.com/system/res/326/original/WATER_MAIN.pdf
- Water and sewer capacity fees are \$1,056 and \$422.40 respectively based on the proposed site plan. Once building plans are submitted these calculations will be finalized and payment must be made prior to the connection. Inspections of the physical connection must be coordinated with appropriate staff.
- Due to the fact that the planned disturbance does not impact more than an acre, the City's Stormwater Policy and Performance Standards for Stormwater Management does not apply.
- With the stockpiles located at the rear of the property please detail how these piles will be accessed.



Carl E Fedders
Director of Public Services
City of Marshall
(269) 558-0323 NEW!
Fx: (269) 789-4628
www.cityofmarshall.com

[Follow us on Facebook!!!](#)

City of Marshall
Application for Site Plan Review



Attn: Planning & Zoning Administrator
323 W Michigan Ave.
Marshall, Michigan 49068

Official Use:

Date Received: 1/30/15

Received by: [Signature]

Approved: _____

Application Complete: _____

Fee Paid: \$250⁰⁰

Receipt Number: 524041

√ # 7943

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

1. Applicant Information

Address of Property being developed:

817 INDUSTRIAL RD, MARSHALL, MI

Owner of Property:

DANIEL LAPOINTE JR

Address: 6547 W Butterfield Hwy City: Bellevue State: MI Zip: 49021

Email: Peggy@qualityexcavators.com Telephone: (269)763-0393 Cell: () - _____

2. Owner's Agent if working for property owner.

Title: _____ Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Email: _____ Telephone: () - _____ Cell: () - _____

City of Marshall
Application for Site Plan Review

3. Brief description of proposed project

CONSTRUCT PROPOSED OFFICE/WAREHOUSE BUILDING & ASSOCIATED 8 SPAC
PARKING LOT ON EXISTING GRAVEL SITE.

4. Property Information

Zoning District: I-2 Are there wetlands present? Yes ___ or No X

Is the property located in a floodplain? Yes ___ or No X

Land Area in square feet: 135,885 Building Area in square feet:

3,024

Number of Square feet of paved areas: 15,015

Is there a lake or stream within 500 feet of the subject property: Yes X or No ___

Number of parking spaces: Existing ___ or Proposed 8

Has any other agency been contacted for approvals? Yes ___ or No X. If yes,
please list those agencies and the date:

Agency	Contact	Date
_____	_____	_____
_____	_____	_____

5. Site Plan Submission Requirements (Review Zoning Ordinance for all requirements)

1. Complete the Application.
2. Review and follow the Site Plan Review checklist.
3. Go to www.cityofmarshall.com - Planning and Zoning and click on Marshall City Code of Ordinances and then type in "156".
4. Submit a certified survey of the property with the site plan.
5. Submit a copy of the deed showing ownership.

City of Marshall
Application for Site Plan Review

6. Authorization (Must be signed by the owner of the property)

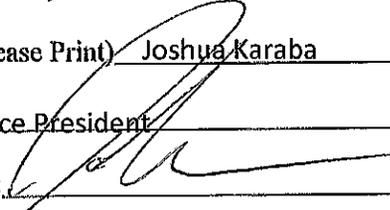
I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Joshua Karaba

Title: Vice President Date: 01/30/2015

Signature: 

Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES		
PLATS		
	Up to 30 Lots	\$450.00
	Over 30 Lots	\$650.00
SITE CONDOMINIUMS		
	Up to 30 Lots	\$350.00
	Over 30 Lots	\$550.00
SITE PLANS		
	Commercial and Industrial	\$250.00 < 30 acres \$350.00 - 30 acres or more
	Institutional	\$250.00
	Special Land Use	\$250.00
	Planned Unit Development (PUD)	\$350.00
	Amend a PUD development	\$150.00
	Multiple Family Developments (Apartment & Condo's)	\$50 plus \$5.00 per unit or lot minimum fee \$250.00
Additions to existing Site Plans if Planning Commission Review is required		\$100.00
Extending Site Plan with Planning Commission approval		\$150.00

**City of Marshall
Application for Site Plan Review**

6. Authorization (Must be signed by the owner of the property)

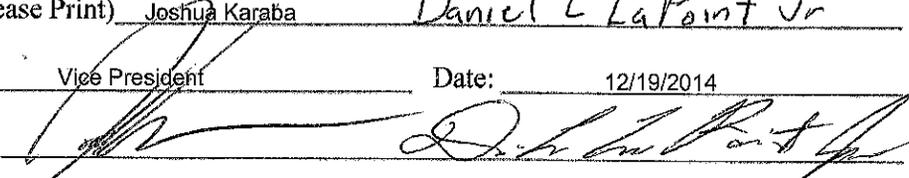
I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Joshua Karaba Daniel L LaPoint Jr

Title: Vice President Date: 12/19/2014

Signature: 

Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
PLATS	
Up to 30 Lots	\$450.00
Over 30 Lots	\$650.00
SITE CONDOMINIUMS	
Up to 30 Lots	\$350.00
Over 30 Lots	\$550.00
SITE PLANS	
Commercial and Industrial	\$250.00 < 30 acres \$350.00 - 30 acres or more
Institutional	\$250.00
Special Land Use	\$250.00
Planned Unit Development (PUD)	\$350.00
Amend a PUD development	\$150.00
Multiple Family Developments (Apartment & Condo's)	\$50 plus \$5.00 per unit or lot minimum fee \$250.00
Additions to existing Site Plans if Planning Commission Review is required	\$100.00
Extending Site Plan with Planning Commission approval	\$150.00



KEBS, INC

Engineering • Surveying

February 9, 2015

Natalie Dean
City of Marshall
900 South Marshall Ave
Marshall, MI 49068

Re: Quality Excavators – 817 Industrial Road

Dear Ms. Dean:

Please find attached revised sets of construction plans for the Quality Excavators project per the City staff review meeting on 2/5/15. (2 large sets, 11 11x17 sets)

Revisions:

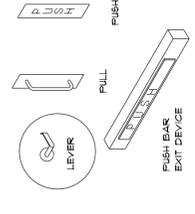
- Hatching has been added to delineate the proposed asphalt parking area
- Curbing has been added to the west, north, and se portion of the parking lot
- Gravel construction entrance hatch has been added
- Landscape plan has been revised to better fit the needs of the site

If you have any questions or need any additional information, please contact me at (517) 339-1014 or by email at ajpatrick@kebs.com.

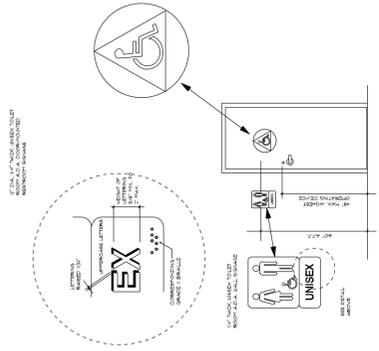
Sincerely,

Allen J. Patrick, P.E.
KEBS Inc.

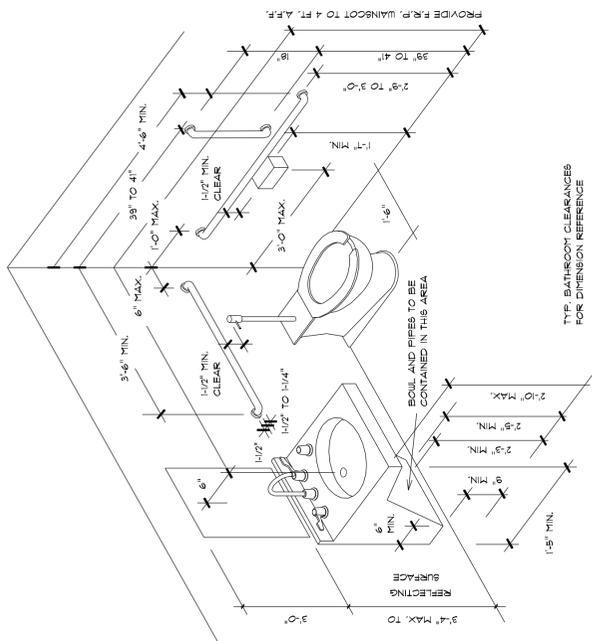
Notes



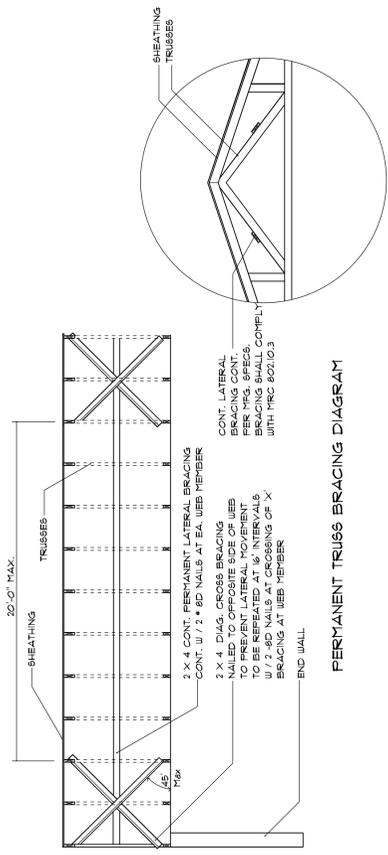
ACCEPTABLE DOOR HARDWARE



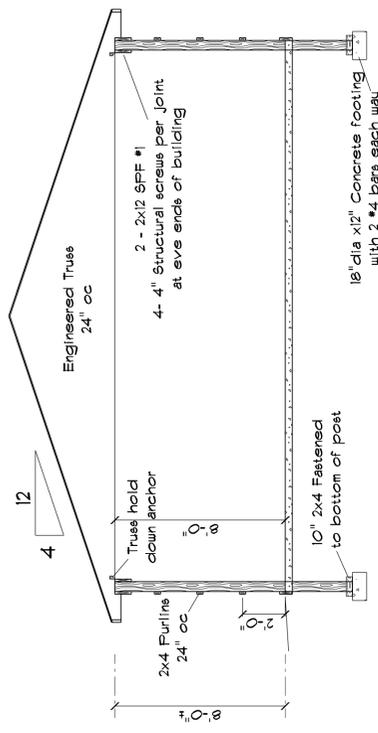
RESTROOM SIGNAGE



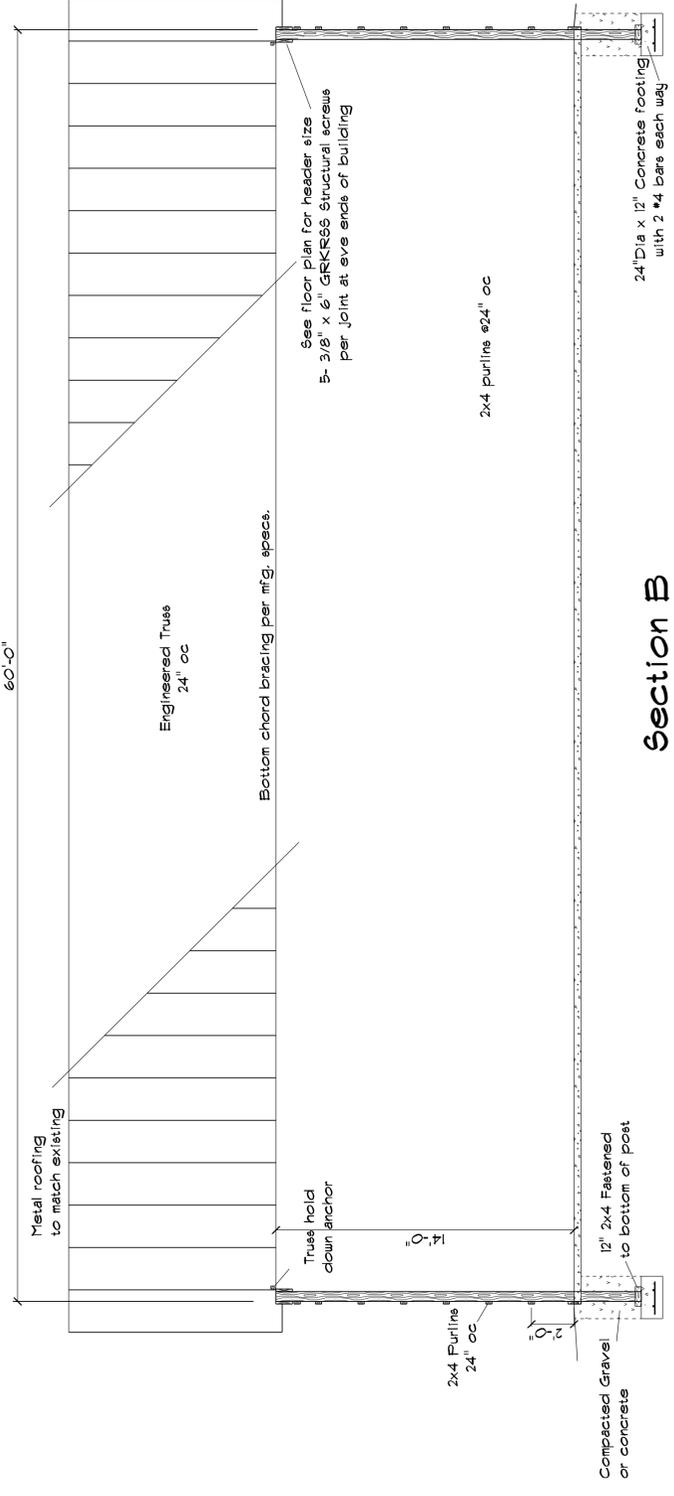
TYP BATHROOM CLEARANCES FOR DIMENSION REFERENCE



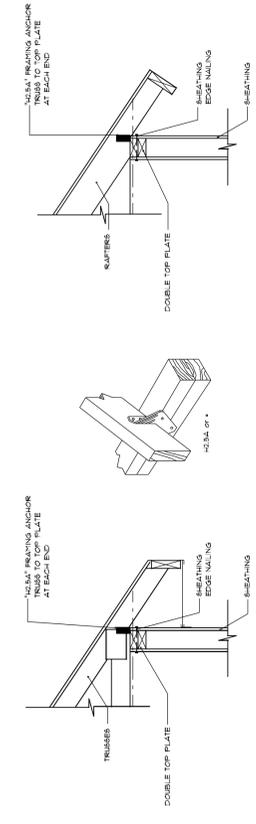
PERMANENT TRUSS BRACING DIAGRAM



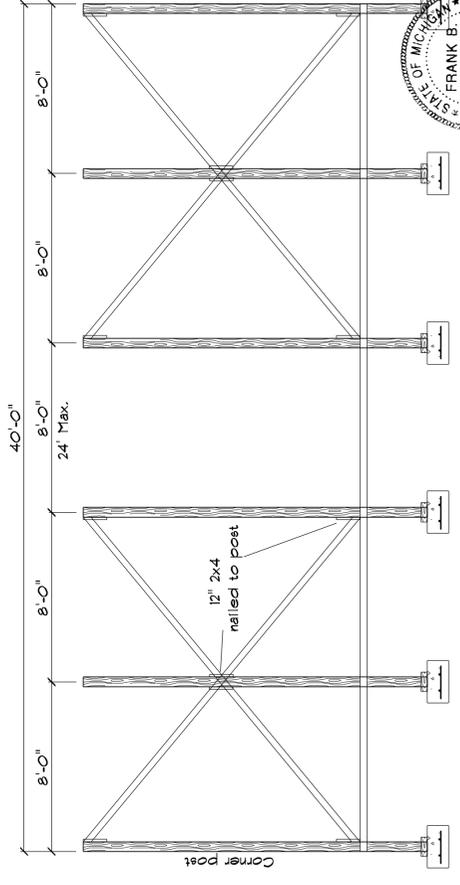
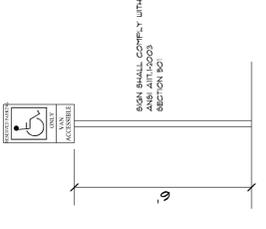
Section A



Section B



SHEAR TRANSFER



TYPICAL WALL BRACING



Revision/Issue	Date
Roof line change	2/27/15

FRANK MASON AND ASSOCIATES
 PO BOX 42
 MARSHALL, MI 49068
 (269) 788-7974
 (269) 205 5942

Project Name:
Quality Excavators

Page	SECTIONS	Sheet
Date	12/17/14	A-3
Scale	1/4" = 1'-0"	

Notes

SYMBOL LEGEND

-  EXIT SIGN / COMBO UNIT
-  EMERGENCY LIGHTING
-  EXTERIOR EGRESS LIGHT
-  100 CFM EXHAUST FAN
-  VENT TO EXTERIOR

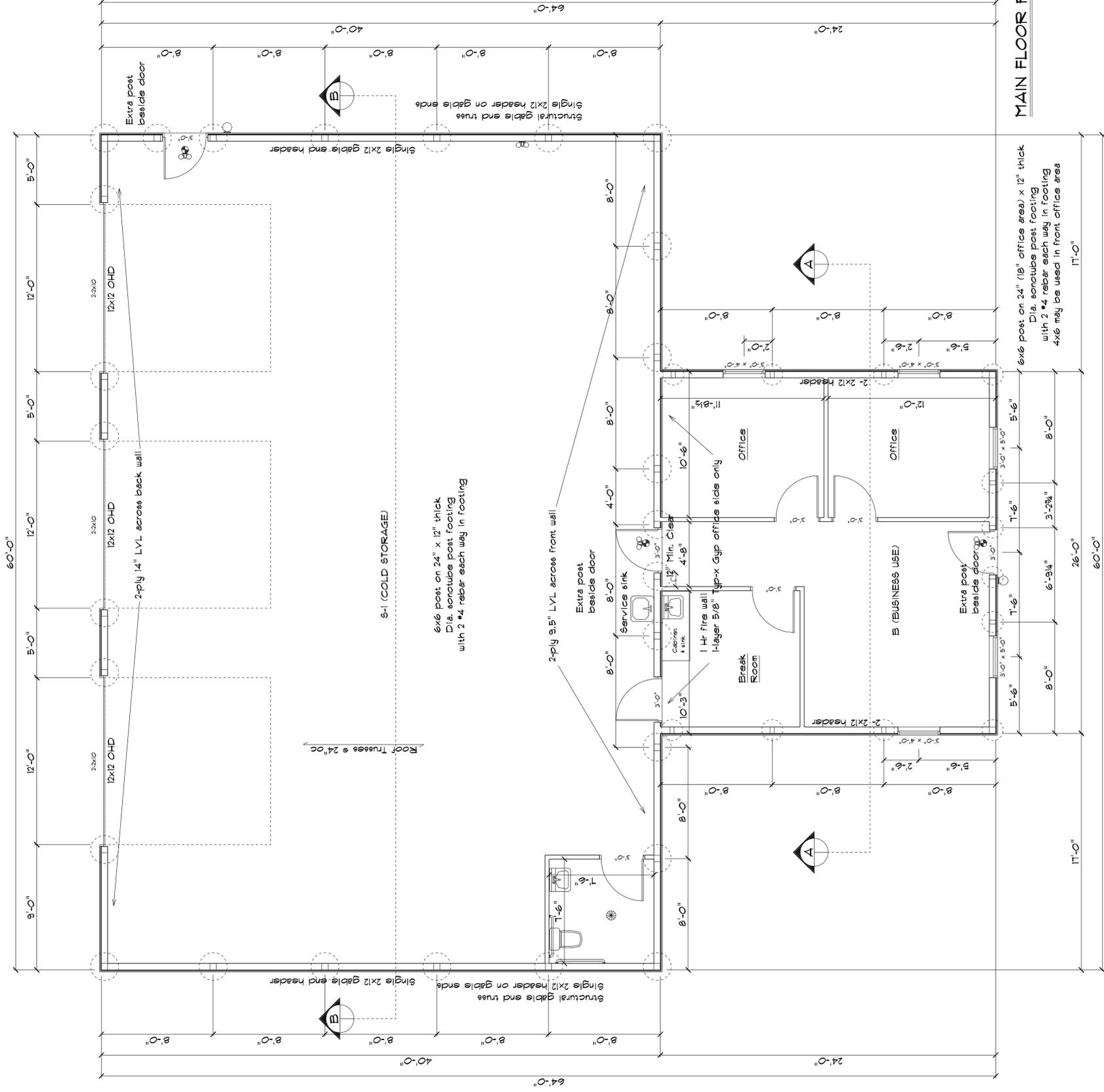
Revision/Issue	Date
Roof truss direction	2/21/15

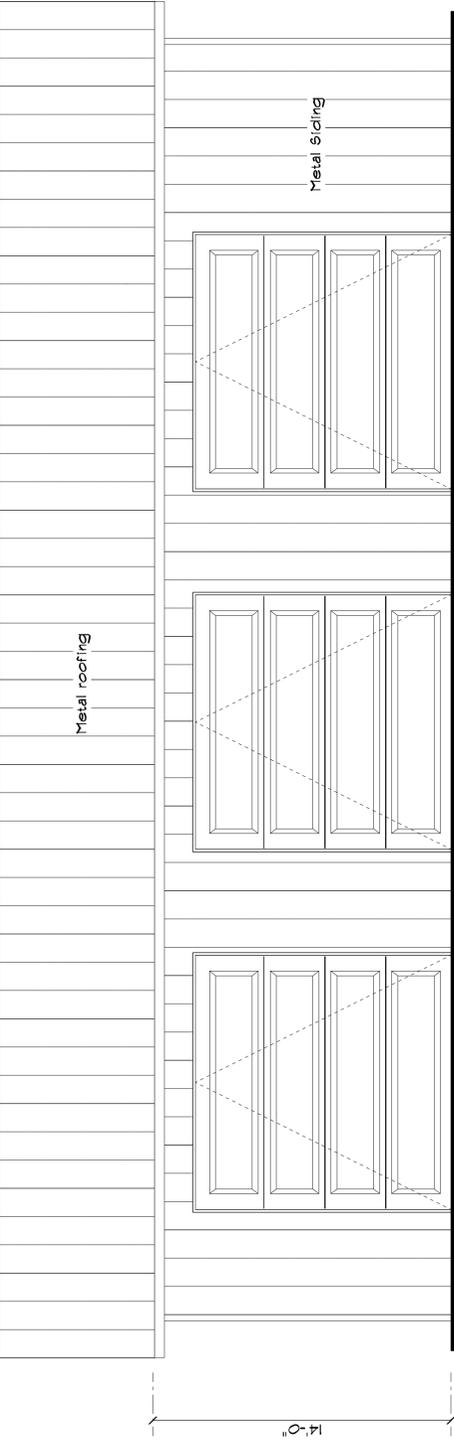
FRANK MASON AND ASSOCIATES
 PO BOX 42
 MARSHALL, MI 49068
 (269) 788-7974
 (269) 205 5942

Project Name:
Quality Excavators

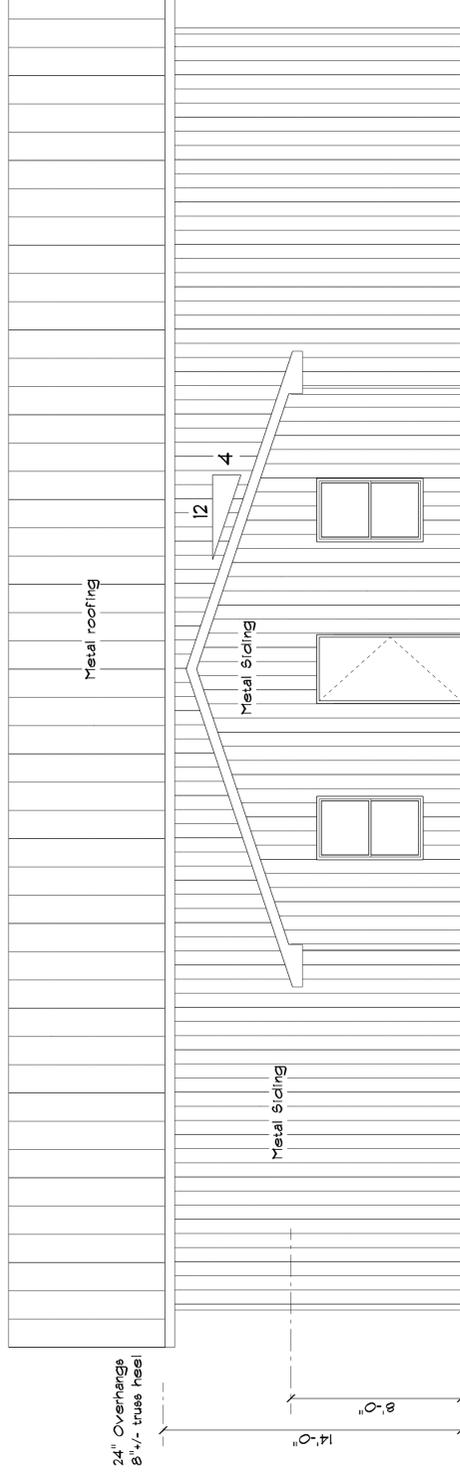
Page: FLOOR PLAN
 Date: 12/17/14
 Scale: 1/4" = 1'-0"

A-2





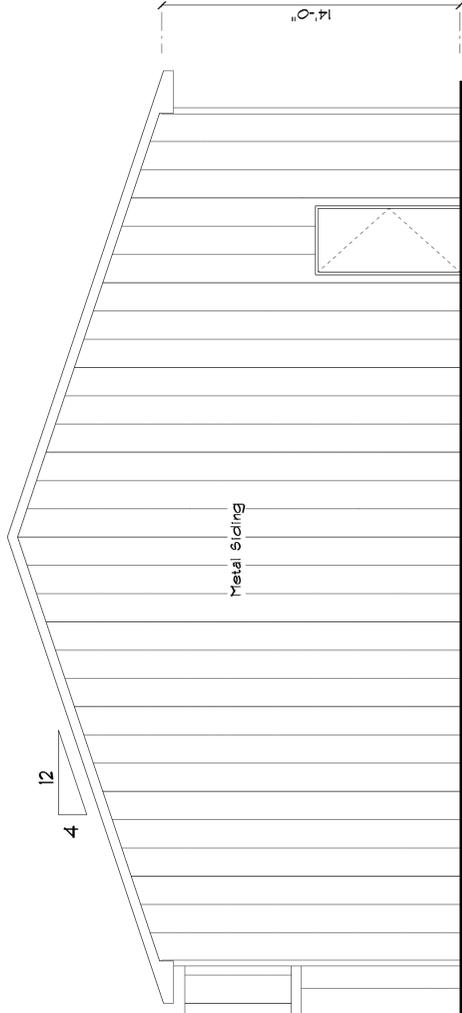
REAR ELEVATION



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

Mechanical Notes:
 This project shall be completed as Design-Build.
 All work shall comply with Michigan Mechanical Code 2012.
 Manufacturer's installation instructions for all equipment and appliances shall be available on the job site at all times.
 Ventilation shall comply with Section 403, Table 403.3
 Contractor shall submit a ventilation schedule if requested.
 Bathroom exhaust shall discharge to the exterior of the building through the roof or side wall and comply with Table 403.3

Plumbing Notes:
 This project shall be completed as Design-Build.
 All work shall comply with Michigan Plumbing Code 2012
 Water hammer arrestors are required and must conform to ASSE1010, Section 604.
 Provide vacuum breakers as required per Section 608.
 Hot water accessible hand-washing fixtures must be tempered to meet ASSE standards, Section 601.
 Trap seals shall be protected by trap primers as required per Section 1002.

Notes

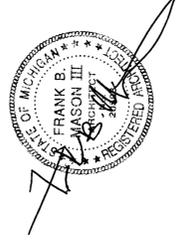
Revision/Issue	Date
Roof line change	2/21/15

FRANK MASON AND ASSOCIATES
 PO BOX 42
 MARSHALL, MI 49068
 (269) 788-7974
 (269) 205 5842

Project Name:
Quality Excavators

Page: ELEVATIONS
 Sheet: **A-1**
 Date: 12/17/14
 Scale: 1/4" = 1'-0"

Quality Excavators - Industrial Road Marshall, MI, 49068
 Code info: Michigan Building Code 2012, MPC 2012, MMC 2012, NEC 2012, ICC A117.1-2009
 Ventilation system must comply with MEC 406.8 for repair garage
 Building Type = V-B
 Building Use = B + S-1
 Building Area = B = 624 sq.ft. S-1 = 2400
 Occupancy load = 11 people
 Firewall between space = 1 hour UL design 305
 Non sprinkled building
 Loading: Roof = 30-75 (metal roof with insulated ceiling)
 Floor = Concrete
 Drinking fountains not required per MPC 2012
 Service sink not required per MPC 2012



E8 PERMANENT SEEDING SPECIFICATIONS		E8 PERMANENT SEEDING													
<p>When</p> <ul style="list-style-type: none"> To provide stabilization of temporary seeding areas or when an area is not seeded within 120 days of construction. Also used when vegetation establishment can correct existing soil erosion or sedimentation problem. Within 5 days of final grade. <p>Why</p> <ul style="list-style-type: none"> To stabilize soil and prevent or reduce soil erosion/sedimentation problems from steep slopes. <p>Where</p> <ul style="list-style-type: none"> Used on construction and earth change sites which require permanent vegetation stabilization. <p>How</p> <ol style="list-style-type: none"> Review SESG plan and construction phasing to identify areas in need of permanent vegetation stabilization. Select perennial grass and ground cover for permanent cover. Seed mixes vary. However, they should contain native species. Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil type, light, moisture, use applications, and native species content. Soil tests should be performed to determine the nutrient and pH levels of the soil. The pH may need to be adjusted to between 6.5 and 7.0. Prepare a 3"-5" deep seedbed, with the top 3"-4" consisting of topsoil. Slopes steeper than 1:3 should be roughened. Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydroseeding, or by using mechanical drills. Much immediately after seeding. Domest seed mixes are for use after the growing season, using seed which has dormant in the winter and begins growing as soon as the construction site is stabilized. 	<p>How</p> <p>(cont.)</p> <ol style="list-style-type: none"> Protect seeded areas from pedestrian or vehicular traffic. Divert concentrated flows away from the seeded area until vegetation is established. <p>Maintenance</p> <ul style="list-style-type: none"> Re-seed weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetation cover is being established. Add supplemental seed as necessary. <p>Limitations</p> <ul style="list-style-type: none"> Seeds need adequate time to establish. May not be appropriate in areas with frequent traffic. Seeded areas may require irrigation during dry periods. Seeding access is site specific, consider mulching or seeding when necessary. <p>PERMANENT SEEDING SPECIFICATION</p> <p>SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEED MIXTURE OR APPROVED EQUIVALENT GREEN - 15% BLUEGRASS, 40% FESCUE, 45% PERENNIAL GRASS / 7% RYE OR 3 SES/1000 SF</p> <p>-APPLY SILT STOP OR APPROVED TACKLEFEE TO SEED MIX</p>	<table border="1"> <thead> <tr> <th>Disturbance Zones</th> <th>Low Potential (Silt of 20%)</th> <th>Low Potential (Silt of 20%)</th> <th>High Potential (Silt of 20%)</th> </tr> </thead> <tbody> <tr> <td>Seedling Width</td> <td>4/15 - 10/10</td> <td>5/1 - 10/1</td> <td>5/1 - 9/20</td> </tr> <tr> <td>Seedling Width</td> <td>1/15 - Fines</td> <td>1/10 - Fines</td> <td>1/10 - Fines</td> </tr> </tbody> </table> <p>Source: Adapted from MDOT Form 3003 Standard Specifications for Construction</p>	Disturbance Zones	Low Potential (Silt of 20%)	Low Potential (Silt of 20%)	High Potential (Silt of 20%)	Seedling Width	4/15 - 10/10	5/1 - 10/1	5/1 - 9/20	Seedling Width	1/15 - Fines	1/10 - Fines	1/10 - Fines	<p>When</p> <ul style="list-style-type: none"> Construction traffic is expected to leave a construction site. Stabilization of interior construction roads is desired. To minimize tracking of sediment onto public roadways and to minimize disturbance of vegetation. <p>Why</p> <ul style="list-style-type: none"> Stabilized construction entrances shall be located at every construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor. <p>Where</p> <ul style="list-style-type: none"> Stabilized construction entrances shall be located at every construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor. <p>How</p> <ol style="list-style-type: none"> Stabilized construction access road should be established at the onset of the construction activities and maintained in place for the duration of the construction project. Installation of this practice should be the responsibility of the site clearing or excavating contractor. Access location should be cleared of woody vegetation. Non-woven geotextile fabric shall be placed over the existing ground prior to placing stone. Access size should be a minimum of 50' (30' for single residential lots). Access to provide to 10' minimum, faced of the existing concrete to provide turning radius. Curbed aggregate (2" to 3") or reinforced or recycled concrete equivalent, shall be placed at least 8" deep over the length and width of the ingress/egress corridor. Periodic inspection and needed maintenance shall be performed after each rain event. Stabilized sites shall be repaired and rock added as necessary.
Disturbance Zones	Low Potential (Silt of 20%)	Low Potential (Silt of 20%)	High Potential (Silt of 20%)												
Seedling Width	4/15 - 10/10	5/1 - 10/1	5/1 - 9/20												
Seedling Width	1/15 - Fines	1/10 - Fines	1/10 - Fines												

SILT FENCE SPECIFICATIONS		SILT FENCE SPECIFICATIONS	
<p>When</p> <ul style="list-style-type: none"> A temporary measure for preventing sediment movement. <p>Why</p> <ul style="list-style-type: none"> Used to prevent sediment suspended in runoff from leaving on open drainage sites. Use adjacent to critical areas, wetlands, base of slopes, and watercourses. <p>Where</p> <ul style="list-style-type: none"> Install parallel to a contour. <p>How</p> <ol style="list-style-type: none"> The silt fence should be made of woven geotextile fabric. Silt fence should accommodate no more than 1/2 to 1 acre of drainage per 100' of fence and on slopes less than 1:2. 4.5/10' or 6" trench along the area where the fence is to be installed. Place 6" of silt fence bottom flap into the trench. Backfill the trench with soil and compact the soil on both fence. Create a small ridge on the up-slope side of the ground a minimum of 12" - 10' apart and drive into the ground. Join sections of silt fence by wrapping ends together. (See drawing). Inspect frequently and immediately after each storm event. Repair or replace damaged sections of silt fence. If necessary, repair immediately. If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable area. The fence should be re-installed if water is seeping underneath it or if the fence has become ineffective. Silt fence should be removed once vegetation is established and up-slope area has stabilized. 	<p>Limitations</p> <ul style="list-style-type: none"> Silt fence may cause temporary ponding and could fail if too much water flows through the area. Do not use in areas with concentrated flows. Choice of fabric increases if fence is installed incorrectly or if sediment accumulation is not removed. 	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged. 	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S53 STABILIZED CONSTRUCTION ACCESS		S53 STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS	
	<p>Notes</p> <ol style="list-style-type: none"> Establish stabilized construction entrance prior to the initiation of site work. Cure should be taken to prevent material movement into adjacent wetlands/watercourses. Cure should be taken to maintain existing roadside drainage via culvert installation, with sediment sump placed downflow of culvert. 	<p>When</p> <ul style="list-style-type: none"> Construction traffic is expected to leave a construction site. Stabilization of interior construction roads is desired. To minimize tracking of sediment onto public roadways and to minimize disturbance of vegetation. <p>Why</p> <ul style="list-style-type: none"> Stabilized construction entrances shall be located at every construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor. <p>Where</p> <ul style="list-style-type: none"> Stabilized construction entrances shall be located at every construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor. <p>How</p> <ol style="list-style-type: none"> Stabilized construction access road should be established at the onset of the construction activities and maintained in place for the duration of the construction project. Installation of this practice should be the responsibility of the site clearing or excavating contractor. Access location should be cleared of woody vegetation. Non-woven geotextile fabric shall be placed over the existing ground prior to placing stone. Access size should be a minimum of 50' (30' for single residential lots). Access to provide to 10' minimum, faced of the existing concrete to provide turning radius. Curbed aggregate (2" to 3") or reinforced or recycled concrete equivalent, shall be placed at least 8" deep over the length and width of the ingress/egress corridor. Periodic inspection and needed maintenance shall be performed after each rain event. Stabilized sites shall be repaired and rock added as necessary. 	<p>When</p> <ul style="list-style-type: none"> Construction traffic is expected to leave a construction site. Stabilization of interior construction roads is desired. To minimize tracking of sediment onto public roadways and to minimize disturbance of vegetation. <p>Why</p> <ul style="list-style-type: none"> Stabilized construction entrances shall be located at every construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor. <p>Where</p> <ul style="list-style-type: none"> Stabilized construction entrances shall be located at every construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor. <p>How</p> <ol style="list-style-type: none"> Stabilized construction access road should be established at the onset of the construction activities and maintained in place for the duration of the construction project. Installation of this practice should be the responsibility of the site clearing or excavating contractor. Access location should be cleared of woody vegetation. Non-woven geotextile fabric shall be placed over the existing ground prior to placing stone. Access size should be a minimum of 50' (30' for single residential lots). Access to provide to 10' minimum, faced of the existing concrete to provide turning radius. Curbed aggregate (2" to 3") or reinforced or recycled concrete equivalent, shall be placed at least 8" deep over the length and width of the ingress/egress corridor. Periodic inspection and needed maintenance shall be performed after each rain event. Stabilized sites shall be repaired and rock added as necessary.

S58 INLET PROTECTION - FABRIC DROP		S58 INLET PROTECTION - FABRIC DROP SPECIFICATIONS	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged. 	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged. 	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S53 STABILIZED CONSTRUCTION ACCESS	
	<p>Notes</p> <ol style="list-style-type: none"> Establish stabilized construction entrance prior to the initiation of site work. Cure should be taken to prevent material movement into adjacent wetlands/watercourses. Cure should be taken to maintain existing roadside drainage via culvert installation, with sediment sump placed downflow of culvert.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S53 STABILIZED CONSTRUCTION ACCESS	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage system. To prevent sediment from entering stormwater systems. <p>Why</p> <ul style="list-style-type: none"> Use in or of stormwater inlets, especially at construction sites or in streets. <p>Where</p> <ul style="list-style-type: none"> 1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" cedar for removal from inlet, each orness. <p>How</p> <ul style="list-style-type: none"> Deep inlet filters should be inspected routinely and after each major rain event. Damaged filter bags should be replaced. Clean and/or replace filter bag when 1/2 full. Replace damaged fabric immediately. If needed, inhibit repairs immediately upon inspection. Remove entire protective mechanism when upgraded areas are stabilized and streets have been swept. <p>Limitations</p> <ul style="list-style-type: none"> Can only accommodate small flow quantities. Requires frequent maintenance. Ponding may occur around storm drains if filter is clogged.

S58 INLET PROTECTION - FABRIC DROP	
	<p>When</p> <ul style="list-style-type: none"> When sediment load stormwater requires treatment before entering a stormwater drainage

SOIL EROSION CONTROL NOTES:

1. ALL SOIL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CALHOUN COUNTY ROAD COMMISSION REQUIREMENTS AND PROJECT SPECIFICATIONS.
2. ANY EROSION OR SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT BE ALLOWED TO COLLECT ON ANY OFF-SITE AREAS. OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
3. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. THE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ESTABLISHED.
4. A MINIMUM 50' BY 20' WIDE, 6" DEEP OF CRUSHED STONE OR CRUSHED CONCRETE HAVING AGGREGATE SIZE OF 2"-3" SHOULD THE STONE BECOME LESS EFFICIENT. IT SHALL BE REPLACED. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE EXITS. DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE AVAILABLE AT ALL TIMES TO BE USED ON HAUL ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM.
5. SEEDING OF EXPOSED AREAS SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADING.
6. ALL DISTURBED AREAS WILL RECEIVE PERMANENT EROSION CONTROL WITHIN 5 DAYS OF FINAL GRADING. AREAS NOT STABILIZED SHALL BE DIVERTED TOWARD RETENTION BASINS.
7. WEATHER AND UNFORESEEN DELAYS MAY RESULT IN EXTENSION OF CONSTRUCTION SCHEDULE.
8. SITE DEVELOPMENT CONTRACTOR SHALL INSPECT SOIL EROSION CONTROL MEASURES ON A DAILY BASIS. MORE OFTEN IF NECESSARY. ANY NEEDED REPAIRS SHALL BE PROMPTLY MADE.
9. SITE DEVELOPMENT CONTRACTOR SHALL MEET WITH SOIL EROSION ENFORCEMENT OFFICER PRIOR TO START OF WORK.

SEQUENCE OF CONSTRUCTION

1. INSTALL ALL TEMPORARY SILT FENCE PER PLAN AND AS SHOWN ON DETAIL.
2. UTILIZE EXISTING GRAVEL ENTRANCE FOR CONSTRUCTION ENTRANCE/EXIT.
3. WHILE MAINTAINING A VEGETATIVE BUFFER WHENEVER POSSIBLE, STRIP AND STOCKPILE TOPSOIL ABOVE AREAS OF PROPOSED EXCAVATION OR GRADING FOR LATER USE ON SITE. PLACE STOCKPILED TOPSOIL IN AREAS WHICH ARE NEITHER SUBJECT TO HIGH RUNOFF NOR ALONG STEEP SLOPES SEED AND MULCH STOCKPILES IMMEDIATELY TO PREVENT WIND BLOWN SEDIMENT POLLUTION AND EXCESSIVE DUST.
4. EXCAVATE FOR PROPOSED BUILDING, PARKING AND UTILITY CONSTRUCTION AS NECESSARY. DO NOT EXPOSE AREAS FAR IN ADVANCE OF THE PROPOSED CONSTRUCTION FOR THAT AREA. ROUGHEN AND SCARRY EXPOSED SURFACES TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. MAINTAIN VEGETATION WHENEVER POSSIBLE TO PROVIDE A NATURAL BUFFER.
5. INSTALL TEMPORARY STONE FILTER BERMS PERPENDICULAR TO EXPOSED STEEP SLOPES AS NECESSARY ALONG THE EXISTING ROAD TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. USE TEMPORARY CHECK DAMS TO SLOW DOWN AND/OR DIVERT HEAVY RUNOFF WHERE NECESSARY.
6. TOPSOIL, SEED, FERTILIZE AND MULCH ALL EXPOSED AREAS AS SOON AS FEASIBLE TO PROTECT AND RESTORE PERMANENT VEGETATION.
7. WATER EXPOSED GROUND REGULARLY TO CONTROL AIRBORNE PARTICULATE MATTER.
8. THE CONTRACTOR SHALL MAINTAIN ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS AND UNTIL PERMANENT VEGETATION IS REESTABLISHED IN ALL EXPOSED AREAS. REMOVE ACCUMULATED SEDIMENT FROM ALL STRUCTURES.
9. THE SITE WILL BE PERIODICALLY INSPECTED BY THE CALHOUN COUNTY ROAD COMMISSION. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE RULES AND REGULATIONS OF THAT OFFICE. UPON FINAL APPROVED INSPECTION OF THE COMPLETED CONSTRUCTION BY ALL REVIEWING AGENCIES, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

PROPOSED STORM INVENTORY:

ST#1 (LEACHING BASIN)
EJW 6508 CASTING
T/CAS 899.25
BOTTOM 895.25

EX. LEGEND

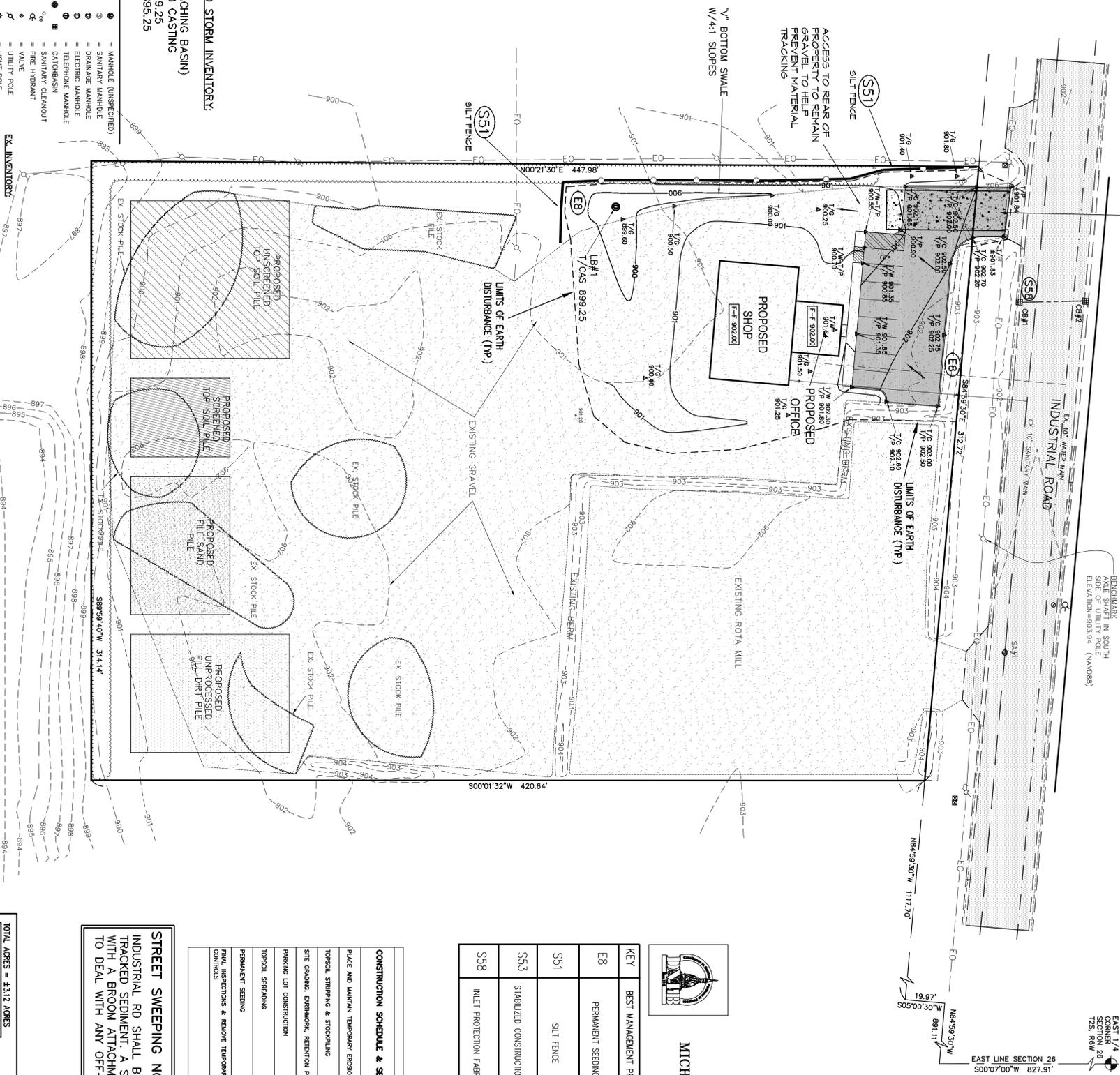
- SET 1/2" BAR WITH CAP
- ROUND RIB AS NOTED
- BEDD LINE
- DISTANCE NOT TO SCALE
- FENCE
- ASPHALT
- CONCRETE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR ELEVATION
- SANITARY SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND TELEVISION
- OVERHEAD WIRE
- EDGE OF WOODS/BRUSH
- REDUCED TREE
- CONSERVUS TREE
- BUSH

- LEGEND**
- PROPOSED WATER MAIN
 - PROPOSED STORM SEWER
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE
 - PROPOSED STORM M.H.
 - PROPOSED STORM M.H.
 - PROPOSED C.B.
 - PROPOSED FIRST FLOOR ELEV.
 - PROPOSED TOP OF CURB ELEV.
 - PROPOSED TOP OF PLAY ELEV.
 - PROPOSED TOP OF WALK ELEV.
 - DENOTES SECT. KEYING SYSTEM

NOTE: WATER SHALL HAVE 10" HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

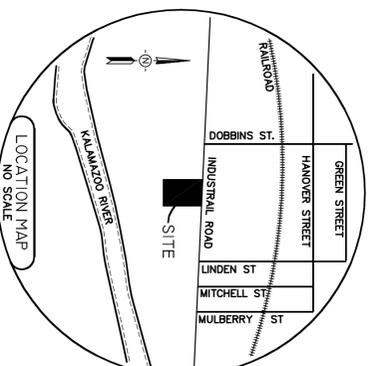
USE EX ENTRANCE FOR TEMPORARY CONSTRUCTION ENTRANCE (S53)

Quality Excavators, Inc.
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN



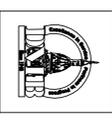
REMARK: SCALE SHOWN IN SOUTH SIDE OF UTILITY POLE. ELEVATION=903.94 (NAVD98)

EAST 1/4 CORNER 28 SECTION 26 T2S. R0W 12S. ROW 891.11'



SCALE 1" = 30'

LEGAL DESCRIPTION (As provided)
Parcel of land in the Southeast 1/4 of Section 26, Town 2 South, Range 6 West, City of Marshall, Calhoun County, Michigan described as:
Commencing at the East 1/4 Post of Section 26, Town 2 South, Range 6 West, thence South 00°07' West along the East Section line 827.91 feet; thence North 84°59'30" West parallel to and 50 feet Northerly of the centerline of the Old D. T. & M. Railroad, 891.11 feet; thence South 05°00'30" West 18.97 feet; thence North 84°59'30" West parallel to said centerline of Old Railroad 1117.70 feet to the point of beginning; thence South 00°01'32" West 420.64 feet; thence South 89°59'40" West 314.14 feet; thence North 00°21'30" East 447.98 feet; thence South 84°59'30" East 312.72 feet to the point of beginning. Containing 3.12 acres, more or less, and being subject to any easements, restrictions or conditions of record.



MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET
S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading obtained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use of stormwater inlets, especially at construction sites.

CONSTRUCTION SCHEDULE & SEQUENCING:

ACTIVITY	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
PLACE AND MAINTAIN TEMPORARY EROSION CONTROLS	X	X	X	X	X	X	X	X	X	X	X	X
TOPSOIL STRIPPING & STOCKPILING	X	X	X	X	X	X	X	X	X	X	X	X
SITE GRADING, EARTHWORK, RETENTION PONDS	X	X	X	X	X	X	X	X	X	X	X	X
PARKING LOT CONSTRUCTION	X	X	X	X	X	X	X	X	X	X	X	X
TOPSOIL SPREADING	X	X	X	X	X	X	X	X	X	X	X	X
PERMANENT SEEDING	X	X	X	X	X	X	X	X	X	X	X	X
FINAL INSPECTIONS & REMOVE TEMPORARY EROSION CONTROLS	X	X	X	X	X	X	X	X	X	X	X	X

SOIL TYPE:
95B Urban Land -
Kalamazoo Complex
0 to 6 percent slopes.

STREET SWEEPING NOTES:
INDUSTRIAL RD SHALL BE KEPT CLEAN AND FREE OF TRACKED SEDIMENT. A STREET SWEEPER OR A BOBAC WITH A BROOM ATTACHMENT SHOULD BE KEPT ON SITE TO DEAL WITH ANY OFF-SITE TRACKING AS IT OCCURS.

TOTAL ACRES = 3.12 ACRES
AREA DISTURBED = 0.63 ACRES

DEMONSTRATES DRAINAGE FLOW

SILT FENCE (TRP)

LIMITS OF EARTH DISTURBANCE (TRP)

2 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
800-492-7111
TOLL FREE

NOTE: ALL GRADES SHOWN ARE FOR FINAL CONSTRUCTED CONDITIONS AND CONTRACTOR IS RESPONSIBLE FOR HOLDING DOWN GRADES AS THEY OR THE DEVELOPER DEEMS NECESSARY FOR BASEMENT SPOILS, TOPSOILS ETC...

REVISIONS

NO.	DATE	DESCRIPTION
1-30	15	SUBMITTAL
2-6-15		CITY REV.

Quality Excavators, Inc.
KES ENGINEERING
216 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

DESIGNER: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

DATE: 1-27-15
SCALE: 1" = 30'
SHEET 2 OF 3

AUTHORIZED BY: JOSH KARABA

JOB # 88673

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
WILSON BRUCE A & LOUCIN	209 E SPRUCE	Trash	02/25/2015	Open	
FAIRWAY MEADOWS APART	406 FAIRWAY MEADOWS DR	Property Maint	02/25/2015	Open	
HAWKINS PAUL O & KECIA F	502 SIBLEY LANE	Junk Car	02/24/2015	Open	
HARMER BRANDI & BRYAN	510 SIBLEY LANE	Parking	02/24/2015	Open	
CUBBON KAREN R L/T	501 BIRCH	Parking	02/23/2015	Open	
SCHOOK KATHLEEN A	401 N MULBERRY	Property Maint	02/23/2015	Open	
NICHOLS LYNDELL L & RICH	402 N MULBERRY	Property Maint	02/23/2015	Open	
MERRINGER ANTHONY	344 N MULBERRY	Property Maint	02/23/2015	Open	
LIBBRECHT TERRI L	537 EAST DRIVE	Property Maint	01/08/2015	Open	
BENNETT ALLIE	415 N MARSHALL	Trash	01/05/2015	Open	
HAGENBARTH JOSEPH M & F	719 N GORDON	No Permit	12/30/2014	Open	
HARNDEN SCOTT K	401 E MANSION	Property Maint	12/01/2014	Open	
EDWARDS ANNA & CARLA	722 W MICHIGAN	Trash	11/25/2014	Open	
HILL AKI D	701 W HANOVER	Trash	11/25/2014	Open	
STULBERG MORRIS TRUSTEE	100 PAGE	Junk Car	11/12/2014	Open	
RUDDOCK CHERYL ANN	560 N MADISON	Property Maint	08/13/2014	Open	
GASKELL LARRY D & RUTH	307 S MARSHALL	Trash	10/16/2014	Open	
RUDDOCK CHERRYL A	741 MONTGOMERY	Trash	07/28/2014	Open	
HARNDEN SCOTT K	401 E MANSION	Junk Car	03/28/2014	Open	
NATIONAL HOUSE INN	102 S PARKVIEW	Snow	02/25/2015	Closed	03/02/2015
REUSS HEROLD & RETTA	342 S EAGLE	Junk Car	02/24/2015	Closed	02/24/2015
BRUGGEMAN JOHN W & LEN	327 S EAGLE	Snow	02/20/2015	Closed	02/23/2015
KLEPPER CINDRA	331 S EAGLE	Snow	02/20/2015	Closed	03/02/2015
KEALOHA VALERIE	601 W MICHIGAN	Snow	02/20/2015	Closed	02/24/2015
FANNIE MAE	501 W MICHIGAN	Snow	02/20/2015	Closed	02/23/2015
WIRTZ JASON H	636 W GREEN	Snow	02/20/2015	Closed	02/24/2015
HALL JEFFREY D & THERESA	524 W GREEN	Snow	02/20/2015	Closed	02/23/2015
SHUBERT DEBORAH	130 W PROSPECT	Snow	02/20/2015	Closed	03/02/2015
CALHOUN COUNTY TREASUR	820 MANN RD	Snow	02/18/2015	Closed	02/25/2015
CUEVAS RICK F	103 PEARL	Trash	02/17/2015	Closed	02/24/2015

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
FELPAUSCH FOOD CENTERS	15900 W MICHIGAN	Snow	02/12/2015	Closed	02/24/2015
DIANA GAIL R	205 NORTH DRIVE EAST	Pet Nuisance	02/11/2015	Closed	02/11/2015
BEGG JEFFREY	709 W MANSION	Snow	02/04/2015	Closed	02/05/2015
FELDPAUSCH REALTY, L.L.C	106 REDFIELD PLAZA	Parking	02/04/2015	Closed	02/09/2015
LANE EVAN & PAULA	129 W HUGHES	Snow	02/03/2015	Closed	02/04/2015
MC CLELLAN PLACE APART	15881 MC CLELLAN DR	Snow	02/03/2015	Closed	02/03/2015
NORTH SLOPE PROPERTIES I	121 W HUGHES	Snow	01/28/2015	Closed	01/29/2015
ELROD MICHAEL & MCCALL	117 W HUGHES	Snow	01/28/2015	Closed	01/30/2015
CONANT FRED C & STELLA	406 ALLEN ROAD	Junk Car	01/20/2015	Closed	01/21/2015
CLIFTON JERRY D & ANITA I	401 W GREEN	Parking	01/20/2015	Closed	01/23/2015
ARBYS RESTAURANT	1310 W MICHIGAN	Snow	01/15/2015	Closed	01/16/2015
312 RIVERSIDE LLC	312 CRARY	Snow	01/15/2015	Closed	01/16/2015
DOBBINS SANDRA J L/T	1170 W MICHIGAN	Snow	01/15/2015	Closed	01/19/2015
SCHNAITMAN SUE ANN	221 W MICHIGAN	Parking	01/12/2015	Closed	01/23/2015
EATON CORP	W HANOVER	Junk Car	01/08/2015	Closed	01/12/2015
BOLEY FRANK &	835 W MICHIGAN	Property Maint	01/06/2015	Closed	01/23/2015
STRUBLE EYLENE	345 N MULBERRY	Property Maint	12/22/2014	Closed	01/05/2015
LINDSEY DELLA M	316 S LINDEN	Trash	12/22/2014	Closed	12/30/2014
WIRTZ JASON H	812 W GREEN	Trash	12/17/2014	Closed	01/05/2015
NASH WILL D & MARY C	112 N GORDON	Trash	12/15/2014	Closed	12/23/2014
MORSE WILLIAM F & CALLY	603 BREWER ST	Parking	12/10/2014	Closed	12/15/2014
KORRECK MARIE DIANN	526 WASHINGTON	Property Maint	12/09/2014	Closed	01/07/2015
CORNWELL BLAIN	424 MONROE	Trash	12/09/2014	Closed	01/05/2015
WEST MICHIGAN CAPITAL F	340 S EAGLE	Junk Car	12/08/2014	Closed	02/05/2015
CAMPBELL CRYSTAL	506 WARREN	Property Maint	12/01/2014	Closed	01/07/2015
CITY OF MARSHALL	W GREEN	Parking	11/25/2014	Closed	12/01/2014
ROOT GARY L	314 S LINDEN	Parking	11/25/2014	Closed	02/18/2015
HARNDEN SCOTT K	401 E MANSION	Parking	11/24/2014	Closed	11/24/2014
CITY OF MARSHALL	W MANSION	Junk Car	11/21/2014	Closed	12/15/2014
GREER GERALDINE M & BRI	1020 HUDSON	Leaf	11/21/2014	Closed	11/24/2014

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
DEFINTA ALEXANDER L	322 E SPRUCE	Parking	11/21/2014	Closed	11/24/2014
BRIGHAM DAVID	821 E MICHIGAN	Parking	11/20/2014	Closed	11/20/2014
SOMSEL NEIL G	615 W HANOVER	Parking	11/18/2014	Closed	11/19/2014
DREAMERS FURNITURE	112 N EAGLE	Property Maint	11/17/2014	Closed	11/20/2014
BRUGGEMAN JOHN W & LEN	327 S EAGLE	Trash	11/14/2014	Closed	11/24/2014
JOHNSON BENJAMIN & LYNN	749 WRIGHT LANE	No Permit	11/12/2014	Closed	11/18/2014
HAGEDORN MICHAEL E & JE	217 CIRCLE DR	Parking	11/06/2014	Closed	11/07/2014
SCHNAITMAN SUE ANN	221 W MICHIGAN	Parking	11/05/2014	Closed	11/24/2014
CALHOUN COUNTY TREASURER	820 MANN RD	Tree	11/05/2014	Closed	12/01/2014
SCHNITZLER CRYSTAL L & TRACY	317 S KALAMAZOO	Trash	10/30/2014	Closed	11/11/2014
TOWNSEND THOMAS D	411 HIGH ST	Leaf	10/29/2014	Closed	10/30/2014
CAMPBELL CRYSTAL	506 WARREN	Trash	10/21/2014	Closed	11/26/2014
HOWARD TASHA	719 RIVER RD	Tree	10/21/2014	Closed	10/21/2014
MAZZULLA JASON	306 S KALAMAZOO	Trash	10/17/2014	Closed	11/10/2014
WAGNER GLORIA J	716 E MANSION	Parking	10/16/2014	Closed	10/16/2014
POTTER GREGORY A & CAROL	906 S KALAMAZOO	Parking	10/16/2014	Closed	10/17/2014
TERRY II RICHARD	105 CHERRY	Junk Car	10/16/2014	Closed	11/24/2014
SHARRAR JOSEPH	705 E MANSION	Parking	10/15/2014	Closed	10/16/2014
SOUTHWELL SCOTT	631 N KALAMAZOO	Junk Car	10/15/2014	Closed	11/03/2014
MILLER WILLIAM T & MARIH	816 S KALAMAZOO	Trash	10/14/2014	Closed	10/15/2014
WINGET CHARLES & BISCHOP	541 N MADISON	Parking	10/08/2014	Closed	10/30/2014
WIRTZ JASON H	812 W GREEN	Trash	10/06/2014	Closed	10/15/2014
BROWN CASPER W & LORI A	720 W HANOVER	Trash	10/06/2014	Closed	11/03/2014
SHARRAR JOSEPH	705 E MANSION	Parking	10/06/2014	Closed	10/07/2014
WINGET CHARLES & BISCHOP	541 N MADISON	Parking	10/06/2014	Closed	10/07/2014
BRUGGEMAN JOHN	701 W MANSION	Trash	10/02/2014	Closed	10/03/2014
AT&T	200 WEST DRIVE NORTH	Property Maint	09/29/2014	Closed	10/15/2014
JOHNSON BENJAMIN & LYNN	749 WRIGHT LANE	Tree	09/26/2014	Closed	10/15/2014
MAR-SHELL INC	869 E MICHIGAN	Noxious Weeds	09/26/2014	Closed	10/01/2014
JASIENSKI FRANK & DONNA	718 W HANOVER	Junk Car	09/18/2014	Closed	10/01/2014

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
BERRY JAMES D & DAWN	313 FERGUSON	Trash	09/17/2014	Closed	09/22/2014
AT&T	200 WEST DRIVE NORTH	Property Maint	09/17/2014	Closed	09/17/2014
ALLMAN PARTNERS I LLC	1132 MORNINGSIDE DR	Junk Car	09/17/2014	Closed	09/17/2014
MAINS JERRY & JOANNE	108 N FOUNTAIN	Grass	09/15/2014	Closed	10/01/2014
CALHOUN COUNTY LAND B	605 TURQUOISE TRAIL	Grass	09/09/2014	Closed	09/22/2014
POLO CLUB-FOR REFERENC	861 E MICHIGAN	Trash	09/04/2014	Closed	09/08/2014
KIEBALA JOSEPH & HEIDI - I	321 MITCHELL	Junk Car	08/28/2014	Closed	09/02/2014
TUCKER EUGENE & CAROL	110 PLUM ST	Parking	08/28/2014	Closed	08/29/2014
BRUGGEMAN JOHN	701 W MANSION	Trash	08/28/2014	Closed	08/29/2014
HAKES CYNTHIA J	131 HART	Health	08/28/2014	Closed	08/28/2014
STAR PROPERTIES OF MARS	120 S PARKVIEW	Dog complaint	08/27/2014	Closed	08/27/2014
HOWE KARLA	728 W HANOVER	Dog complaint	08/26/2014	Closed	09/02/2014
JACKSON DOUGLAS A	116 N MARSHALL	Property Maint	08/26/2014	Closed	09/02/2014
MACKEY II EBAN J	544 EAST DRIVE	Parking	08/25/2014	Closed	08/26/2014
WINGET CHARLES & BISCHC	541 N MADISON	Grass	08/25/2014	Closed	09/10/2014
MESTEMAKER PAUL A & MA	631 BIRCH	Pool	08/22/2014	Closed	08/22/2014
PARKS MATTHEW D & MICH	1038 LOWE DR	Poultry/Ducks	08/20/2014	Closed	08/20/2014
SCHAEFER SANDRA K	343 N MARSHALL	Grass	08/20/2014	Closed	09/02/2014
TERRY II RICHARD	105 CHERRY	Trash	08/06/2014	Closed	09/08/2014
HOWE KARLA	728 W HANOVER	Parking	08/06/2014	Closed	08/14/2014
LAWRENCE JEFFREY A	135 W HANOVER	Trash	08/06/2014	Closed	08/18/2014
AUSABLE 413 PROPERTIES L	525 BREWER ST	Grass	08/04/2014	Closed	08/11/2014
SCHADLER KEITH W & LAUF	419 MONROE	Trash	08/04/2014	Closed	08/05/2014
GROSKOPF BARBARA TRUS	807 S KALAMAZOO	Trash	08/04/2014	Closed	08/11/2014
ASHLEY STUART M	802 CLINTON	Trash	08/04/2014	Closed	08/06/2014
BRUGGEMAN JOHN W & LEN	301 S HAMILTON	Property Maint	07/31/2014	Closed	08/07/2014
CHANEY FAMILY REVOCAB	316 E HANOVER	Junk Car	07/31/2014	Closed	09/18/2014
AMARO RICKEY L & SHARO	623 RIVER RD	Trash	07/29/2014	Closed	10/30/2014
MORGAN JOHN P& RETHA J	514 W HANOVER	No Permit	07/29/2014	Closed	08/14/2014
PALMER RICHARD D	510 W HANOVER	No Permit	07/29/2014	Closed	08/14/2014

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
CLARK DAVID R	403 N KALAMAZOO	Health	07/28/2014	Closed	08/01/2014
837 HANOVER LLC	837 W HANOVER	Grass	07/23/2014	Closed	07/30/2014
MAINS JERRY & JOANNE	108 N FOUNTAIN	Grass	07/23/2014	Closed	08/11/2014
MONTGOMERY JOE BUILDEI	1207 COLGROVE DR	Grass	07/23/2014	Closed	08/11/2014
FLYNN JOSEPH R & SHERRY	423 W GREEN	Trash	07/22/2014	Closed	08/13/2014
FROHM JAMES	627 W MICHIGAN	Health	07/11/2014	Closed	08/14/2014
CROCE HUGH E	336 N EAGLE	Health	07/10/2014	Closed	08/01/2014
STONE DAVID J & MARIE L/T	829 S KALAMAZOO	City Ordinance	07/10/2014	Closed	07/28/2014
BENNETT ALLIE E	116 PEARL	Junk Car	07/10/2014	Closed	07/22/2014
HAKES CYNTHIA J	131 HART	Junk Car	07/05/2014	Closed	07/08/2014
GERBER SETH & SARAH	822 S KALAMAZOO	Trash	07/05/2014	Closed	07/08/2014
YORDY OBIE B & JOHNSON I	401 E GREEN	Grass	07/05/2014	Closed	07/15/2014
PERKINS GREG A	616 RIVER ST	Grass	07/02/2014	Closed	
REUSS HEROLD & RETTA	342 S EAGLE	Property Maint	06/25/2014	Closed	07/01/2014
GROSS STEPHEN	734 E MICHIGAN	Health	06/28/2014	Closed	08/06/2014
SHELLENBERGER LINDA	512 WASHINGTON	Grass	06/28/2014	Closed	
HARDY RICHARD C & GAIL L	106 ELK ST	City Ordinance	06/27/2014	Closed	07/15/2014
GOODWIN RONALD L	330 S MULBERRY	City Ordinance	06/27/2014	Closed	08/11/2014
TEAR JOHN A & LAURIE A	N FOUNTAIN	Grass	06/24/2014	Closed	07/15/2014
FLYNN DAVID A	720 FOREST	Trash	06/20/2014	Closed	07/09/2014
CAMPBELL CRYSTAL	506 WARREN	Health	06/19/2014	Closed	07/15/2014
AMARO RICKEY L & SHAROL	623 RIVER RD	Health	06/19/2014	Closed	06/20/2014
LANE JASON L & CRYSTAL S	136 HART	Junk Car	06/19/2014	Closed	10/30/2014
MONTGOMERY JOE BUILDEI	1209 COLGROVE DR	Grass	06/19/2014	Closed	08/11/2014
LEACH SHIRLEY M	329 N LIBERTY	City Ordinance	06/17/2014	Closed	07/12/2014
ADAMS NORMA L L/T	622 W GREEN	Grass	06/11/2014	Closed	06/18/2014
CALHOUN CO AG & INDUS S	527 FAIR STREET	City Ordinance	06/10/2014	Closed	07/28/2014
STULBERG MORRIS TRUSTE	100 PAGE	City Ordinance	06/06/2014	Closed	07/15/2014
MAR-SHELL INC	869 E MICHIGAN	Noxious Weeds	06/06/2014	Closed	07/28/2014
SHELLENBERGER LINDA	512 WASHINGTON	Grass	06/03/2014	Closed	06/06/2014

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
HOWLAND RONALD L & DEE	725 W PROSPECT	Grass	06/03/2014	Closed	06/05/2014
ALLEN CHARLES E & LISA M	529 HILL ROAD CT	Grass	05/30/2014	Closed	06/06/2014
WEEKS DANA	508 WASHINGTON	Grass	05/29/2014	Closed	06/11/2014
RAYNER TODD M & BETH A	348 N LINDEN	Grass	05/29/2014	Closed	06/06/2014
HILL AKI D	701 W HANOVER	Grass	05/29/2014	Closed	06/06/2014
BRADLEY BARBARA & RYAN	LOCUST/VACANT	Grass	05/28/2014	Closed	06/10/2014
AUSABLE 413 PROPERTIES L	525 BREWER ST	Grass	05/28/2014	Closed	06/06/2014
ADKINS ARBIE & BRENDA L	607 MONROE	City Ordinance	05/27/2014	Closed	05/31/2014
MC DONALD DARREN M & M	557 N MADISON	Trash	05/27/2014	Closed	05/28/2014
FEDERAL HOME LOAN MOR	303 N MARSHALL	Grass	05/27/2014	Closed	05/28/2014
REED ROBIN Y	110 S MARSHALL	Grass	05/27/2014	Closed	05/28/2014
MAINS JERRY & JOANNE	108 N FOUNTAIN	Grass	05/27/2014	Closed	06/06/2014
KILBOURN KENNETH	320 N MARSHALL	Property Maint	05/20/2014	Closed	05/27/2014
TERRY II RICHARD	105 CHERRY	Property Maint	05/20/2014	Closed	05/27/2014
LIBBRECHT TERRI L	537 EAST DRIVE	Junk Car	05/16/2014	Closed	06/12/2014
KORRECK MARIE DIANN	526 WASHINGTON	City Ordinance	05/15/2014	Closed	05/29/2014
837 HANOVER LLC	837 W HANOVER	Grass	05/15/2014	Closed	06/06/2014
MOE JOANNE	111 N LINDEN	Property Maint	05/14/2014	Closed	06/06/2014
SWALWELL APRIL	203 FOREST	Grass	05/14/2014	Closed	06/12/2014
MONARCH COMMUNITY BA	842 W MICHIGAN	Grass	05/13/2014	Closed	
BOOTH MICHAEL I	421 MITCHELL	Property Maint	05/07/2014	Closed	
ALLMAN PARTNERS I LLC	1148 WOODRUFF DR	Property Maint	05/07/2014	Closed	05/29/2014
RIEGLE DANIEL	518 WASHINGTON	City Ordinance	05/07/2014	Closed	05/13/2014
CONANT FRED C & STELLA	406 ALLEN ROAD	Junk Car	05/01/2014	Closed	05/02/2014
BIDELMAN BRIAN T	431 N MARSHALL	Trash	05/01/2014	Closed	05/08/2014
ROCCO LEROY & KAREN TR	1064 S KALAMAZOO	Fence	04/30/2014	Closed	05/01/2014
JACKSON DOUGLAS A	116 N MARSHALL	City Ordinance	04/29/2014	Closed	08/26/2014
CAMPBELL CRYSTAL	506 WARREN	City Ordinance	04/29/2014	Closed	05/03/2014
CALHOUN COUNTY LAND B	309 W HANOVER	City Ordinance	04/25/2014	Closed	
BIRT ANDREW & JENNIFER	110 N GRAND	Leaf	04/24/2014	Closed	04/25/2014

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
KECK DANIELLE, JOHN & KA	502 W GREEN	Leaf	04/24/2014	Closed	04/26/2014
STULBERG MORRIS TRUSTE]	100 PAGE	City Ordinance	04/23/2014	Closed	05/07/2014
TERRY II RICHARD	105 CHERRY	Junk Car	04/23/2014	Closed	04/24/2014
MAZZULLA JASON	306 S KALAMAZOO	Trash	04/23/2014	Closed	05/21/2014
CONINE MARY FKA: (MUSIA	737 GORHAM ST	No Permit	04/23/2014	Closed	05/07/2014
MURPHY REBECCA L	612 W MICHIGAN	City Ordinance	04/22/2014	Closed	04/25/2014
BISCHOFF JERRY L & MARS	728 S MARSHALL	Property Maint	04/22/2014	Closed	08/21/2014
LAUTZENHEISER NICHOLAS	412 S MADISON	Property Maint	04/22/2014	Closed	08/21/2014
WATSON MICHAEL A	828 W GREEN	City Ordinance	04/19/2014	Closed	05/02/2014
MERRILD ANDREW CLARE	414 W MANSION	City Ordinance	04/19/2014	Closed	04/22/2014
US BANK NATIONAL ASSOC	1401 O'KEEFE	Property Maint	04/16/2014	Closed	05/07/2014
RJJS LLC	406 FERGUSON	City Ordinance	04/02/2014	Closed	04/04/2014
VANHOOSE JONATHAN R	405 S EAGLE	Trash	03/29/2014	Closed	04/02/2014
EDWARDS ANNA & CARLA	722 W MICHIGAN	Trash	03/29/2014	Closed	04/12/2014
BRUGGEMAN JOHN	701 W MANSION	Trash	03/29/2014	Closed	04/01/2014
WATSON JACK & MARY ANN	212 S JEFFERSON	Trash	03/28/2014	Closed	03/29/2014
KIPP MELISSA S	333 S MARSHALL	Trash	03/25/2014	Closed	03/26/2014
LANGRIDGE KENNETH C	120 W SPRUCE	Trash	03/25/2014	Closed	03/27/2014
RUDDOCK CHERRYL A	741 MONTGOMERY	City Ordinance	03/21/2014	Closed	04/08/2014
SHEPHERD SR EARL	411 MITCHELL	Property Maint	03/21/2014	Closed	04/15/2014
FROHM JAMES	627 W MICHIGAN	Property Maint	03/21/2014	Closed	04/15/2014
HARDEN SCOTT K	401 E MANSION	City Ordinance	03/19/2014	Closed	03/20/2014
MARSHALL BUILDING AUTH	200 E SPRUCE	Health	03/14/2014	Closed	03/28/2014
US BANK NATIONAL ASSOC	1401 O'KEEFE	Trash	03/12/2014	Closed	03/14/2014
BEGG JEFFREY	441 MONROE	Trash	03/08/2014	Closed	03/20/2014
SALINAS JAMES & MARCELI	220 N FOUNTAIN	Trash	03/07/2014	Closed	03/14/2014
CADY NICHOLAS M & STAR	334 S EAGLE	Trash	03/07/2014	Closed	03/27/2014
WALLACE ERIC&ROCHE-WA	711 NORTH DRIVE EAST	Junk Car	03/07/2014	Closed	05/16/2014
LANDMARK PROPERTIES OF	1101 W MICHIGAN	Sign	03/07/2014	Closed	03/14/2014
MARSHALL BUILDING AUTH	200 E SPRUCE	City Ordinance	02/28/2014	Closed	03/14/2014

Code Enforcement Index for 02/2015

March 02, 2015

Property Owner	Address	Category	Date Filed	Status	Date Closed
CITY OF MARSHALL	W GREEN	Junk Car	02/28/2014	Closed	03/14/2014
LIU JIN BING	204 W MICHIGAN	Sign	02/25/2014	Closed	03/29/2014
STILLOTT PROPERTY MANA	508 W MICHIGAN	City Ordinance	01/17/2014	Closed	03/20/2014
TAYLOR BEATRICE I	701 E MICHIGAN	Snow	01/10/2014	Closed	03/14/2014
BRIEGEL BROOKE	518 RAYMOND	City Ordinance	11/13/2013	Closed	03/29/2014
SMITH TERRY	302 S MULBERRY	Property Maint	09/04/2013	Closed	05/08/2014
ZAHARION DIANE E	407 N MADISON	Property Maint	08/26/2013	Closed	04/03/2014
HOWARD ROGER	808 W MICHIGAN	Property Maint	08/15/2013	Closed	
WATSON JACK & MARY ANN	212 S JEFFERSON	Property Maint	06/12/2013	Closed	06/17/2013
ROMA'S CORNER CAFE LLC	228 W MICHIGAN	Property Maint	05/21/2013	Closed	06/18/2014
VOIGT ROBERT K & JULIE A	151 W MICHIGAN	Property Maint	02/20/2013	Closed	
PALMER RICHARD D	510 W HANOVER	Health	02/02/2012	Closed	03/26/2014
CUBBON SHARON R	1016 S KALAMAZOO	Health	12/06/2011	Closed	03/28/2014
BURNETT WILLIAM J	828 S KALAMAZOO	Snow	02/18/2015		
GERBER SETH & SARAH	822 S KALAMAZOO	Snow	02/18/2015		

Records: 225

Population: All Records

Enforcement.DateNextAction Between 05/01/2014 AND 05/07/2014
AND

Enforcement.DateClosed Between <Prompt For Value> AND <Prompt
For Value>

OR