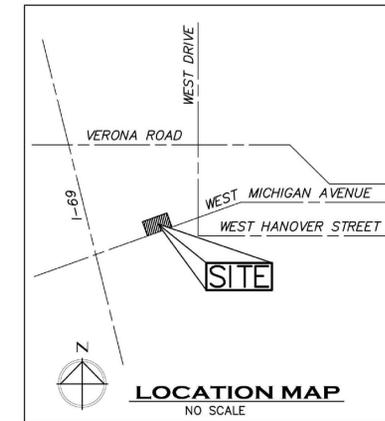


**Fire Protection Notes**

1. Shop dwg's & cut sheets for the hood fire suppression system & alarm system must be submitted for review and approval to the Allegan Charter Twp. Fire Dept.
2. A fire dept. lock box must be installed on the Bldg.
3. Keys for all exterior & interior doors must be given to the fire inspector at the final inspection to be locked inside the fire dept. lock box.
4. Verify location and type of Fire extinguisher with Fire Inspector

PROPOSED NEW BUILDING FOR:  
**TACO BELL #5047**  
 CHICAGO DIVERSIFIED FOODS CORP.  
 400 E. 22ND STREET SUITE E  
 LOMBARD, IL 60148  
 ATTN. MIKE BASILE  
 WORK:630.889.1818  
 CELL:616.437.2908

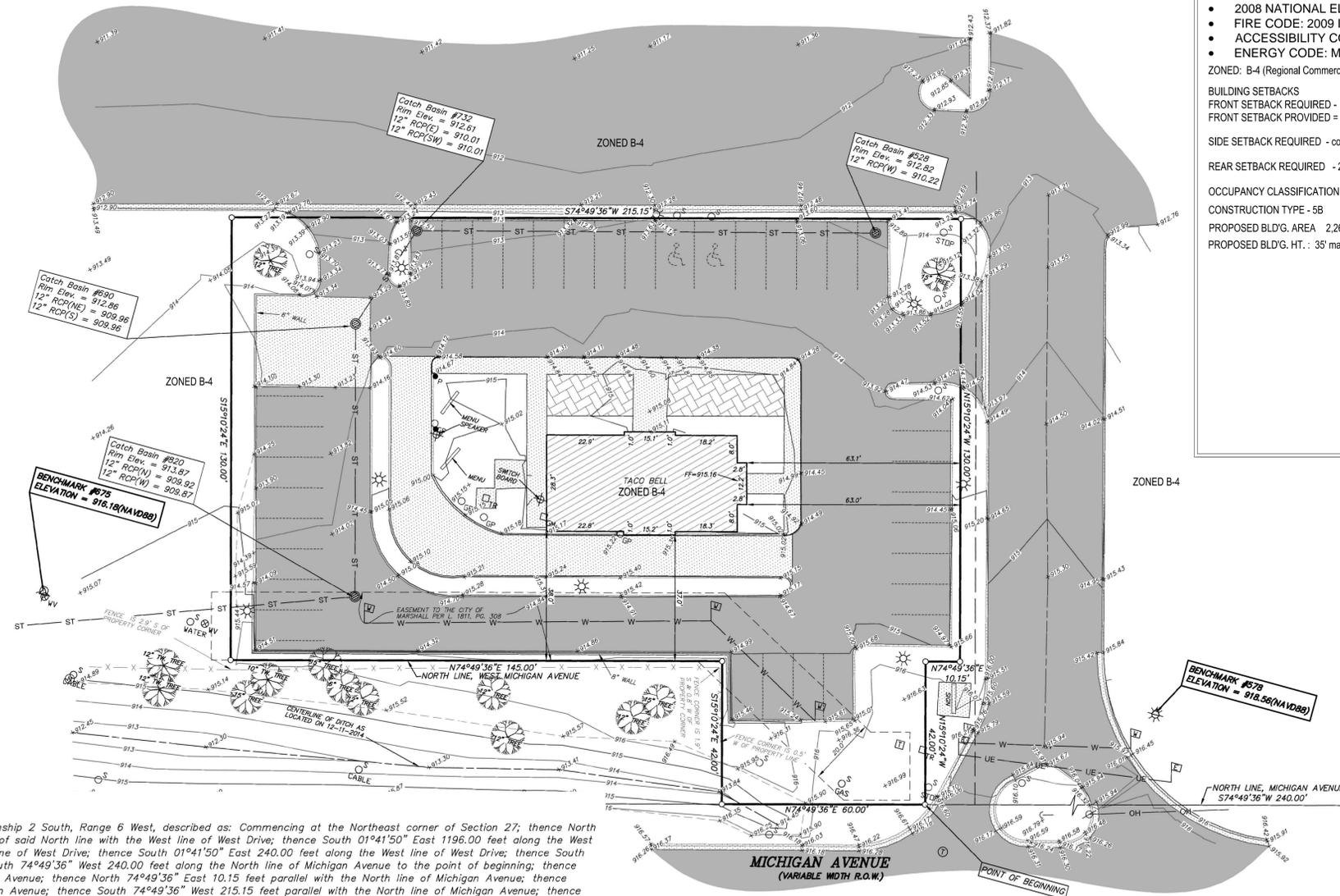


**GENERAL NOTES**

1. Utility locations are derived from actual measurements or available records. They should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
2. NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
3. Easement, boundary lines, and boundary description shown hereon were taken from previous Nederveid project number 0610003, dated January 4, 2006; easements and parcel boundary lines were not reviewed at the time of this survey.

**SITE BENCHMARKS**

- BENCHMARK #578 ELEVATION** ----- 918.56 (NAVD88)  
 Set "square" benchmark in NNW side of concrete light pole base 3'± above grade at the Southwest corner of parking lot of Monarch Community Bank on the West line of the asphalt extended South 2'±.
- BENCHMARK #675 ELEVATION** ----- 916.18 (NAVD88)  
 Set benchmark on the SW flange bolt above the "W" in "WATEROUS" 1.5'± above grade at the SE corner of the K-Mart parking lot 62'± W of the back of curb for Taco Bell parking lot & 22' N of right-of-way fence.
- BENCHMARK #822 ELEVATION** ----- 924.43 (NAVD88)  
 Benchmark from NGS Datasheet designation L335; 12.6 miles Westerly along Austin and Michigan Avenues from 0.35 miles North of the Post Office in Albion. 83'± East of the centerline I-69 Northbound Lanes & 19.4' South of the center of Michigan Avenue. (OFF-SITE)



**DESCRIPTION**

DESCRIPTION: A parcel of land in the Northeast Quarter of Section 27, Township 2 South, Range 6 West, described as: Commencing at the Northeast corner of Section 27; thence North 89°40'25" West 70.04 feet along the North Section line to the intersection of said North line with the West line of West Drive; thence South 01°41'50" East 1196.00 feet along the West line of West Drive; thence South 88°18'10" West 5.00 feet along the West line of West Drive; thence South 01°41'50" East 240.00 feet along the West line of West Drive; thence South 46°02'00" West 71.98 feet to the North line of Michigan Avenue; thence South 74°49'36" West 240.00 feet along the North line of Michigan Avenue to the point of beginning; thence North 15°10'24" West 42.00 feet perpendicular to the North line of Michigan Avenue; thence North 74°49'36" East 10.15 feet parallel with the North line of Michigan Avenue; thence North 15°10'24" West 130.00 feet perpendicular to the North line of Michigan Avenue; thence South 74°49'36" West 215.15 feet parallel with the North line of Michigan Avenue; thence South 15°10'24" East 130.00 feet perpendicular to the North line of Michigan Avenue to said North line; thence North 74°49'36" East 145.00 feet along the North line of Michigan Avenue; thence South 15°10'24" East 42.00 feet along the North line of Michigan Avenue; thence North 74°49'36" East 60.00 feet along the North line of Michigan Avenue to the point of beginning.

Together with a non-exclusive easement for ingress, egress and utilities as created, limited and defined in instruments recorded in Liber 1227, page 976, Liber 1549, page 365 and Liber 1559, page 897.

(From First American Title Insurance Company Commitment Number 129987, dated December 27, 2005)

**BUILDING DATA**

- 2009 INTERNATIONAL BUILDING CODE – PLUS H.P. AMENDMENTS  
 MICHIGAN BUILDING CODE - AMENDMENTS, 2009
- 2009 MICHIGAN BUILDING CODE
  - 2009 MICHIGAN PLUMBING CODE
  - 2009 MICHIGAN MECHANICAL CODE
  - 2008 NATIONAL ELECTRICAL CODE
  - FIRE CODE: 2009 IFC
  - ACCESSIBILITY CODE: 2009 MBC & 2003 ANSI 117.1
  - ENERGY CODE: MICHIGAN UNIFORM ENERGY CODE
- ZONED: B-4 (Regional Commercial)
- BUILDING SETBACKS**  
 FRONT SETBACK REQUIRED - 20'  
 FRONT SETBACK PROVIDED = 28' min.
- SIDE SETBACK REQUIRED - considered Front setback per lot design see above
- REAR SETBACK REQUIRED - 25' REAR SETBACK PROVIDED = 79'
- OCCUPANCY CLASSIFICATION: A-2 Assembly  
 CONSTRUCTION TYPE - 5B  
 PROPOSED BLD'G. AREA 2,261 S.F.  
 PROPOSED BLD'G. HT. : 35' max.

**TITLE/SITE**

- T100 SITE LOCATION MAP, SHEET INDEX, BUILDING DATA, EXIST. SITE PLAN, EXIST. ZONING PLAN

**CIVIL**

- D1.0 DEMOLITION SITE PLAN
- C1.0 SITE PLAN
- C2.0 UTILITY SITE PLAN
- C103 SITE DETAILS
- C104 SITE DETAILS
- L100 LANDSCAPE SITE PLAN
- PH1.0 SITE PHOTOMETRIC PLAN

**ARCHITECTURAL**

- A1.0 FLOOR PLAN
- A2.0 EQUIPMENT AND SEATING PLAN
- A4.0 EXTERIOR ELEVATIONS

**1**  
**T100**  
**EXISTING SITE PLAN**  
 SCALE: 1" = 30'-0"

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**TACO BELL #5047**  
**CHICAGO DIVERSIFIED**  
**FOODS CORP.**  
 15955 W MICHIGAN AVE  
 CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM.	1/19/15
---------	---------

STATE OF MICHIGAN  
 GLENN RICHARD RAHN  
 ARCHITECT  
 No. 57678  
 LICENSED ARCHITECT

DRAWN BY JVB  
 CHECKED BY JVB  
 PROJECT NUMBER 014028

**T100**



1 SOUTH EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



2 NORTH EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



4 WEST EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION  
A4.0 SCALE: 1/4" = 1'-0"



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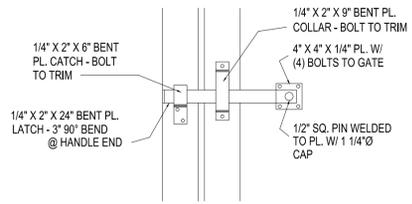
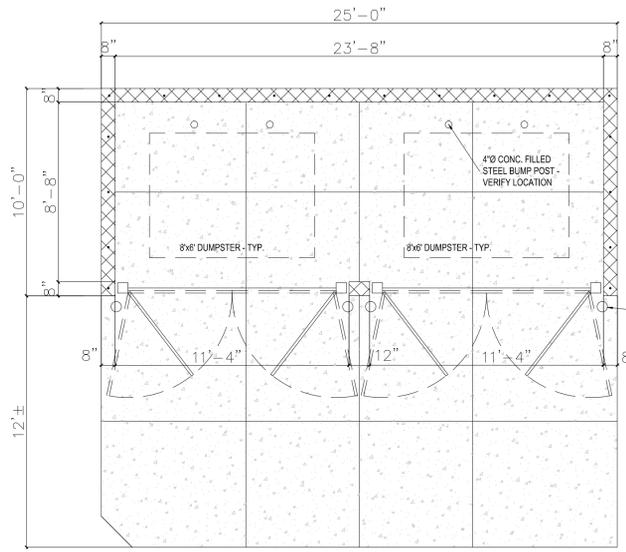
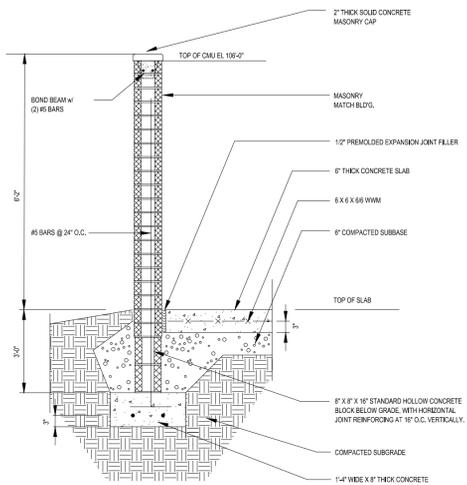
SEAL

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PROJECT NUMBER 014028

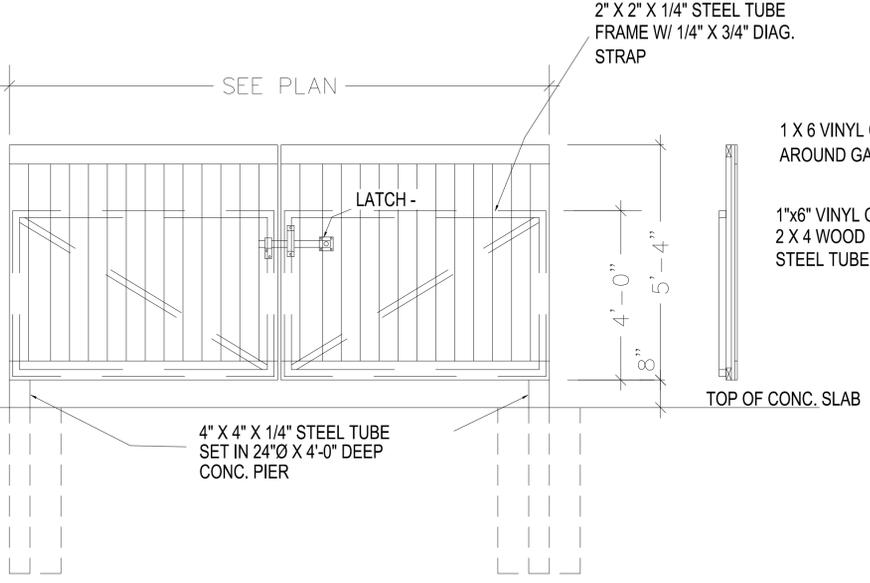
A4.1

**GENERAL NOTES:**

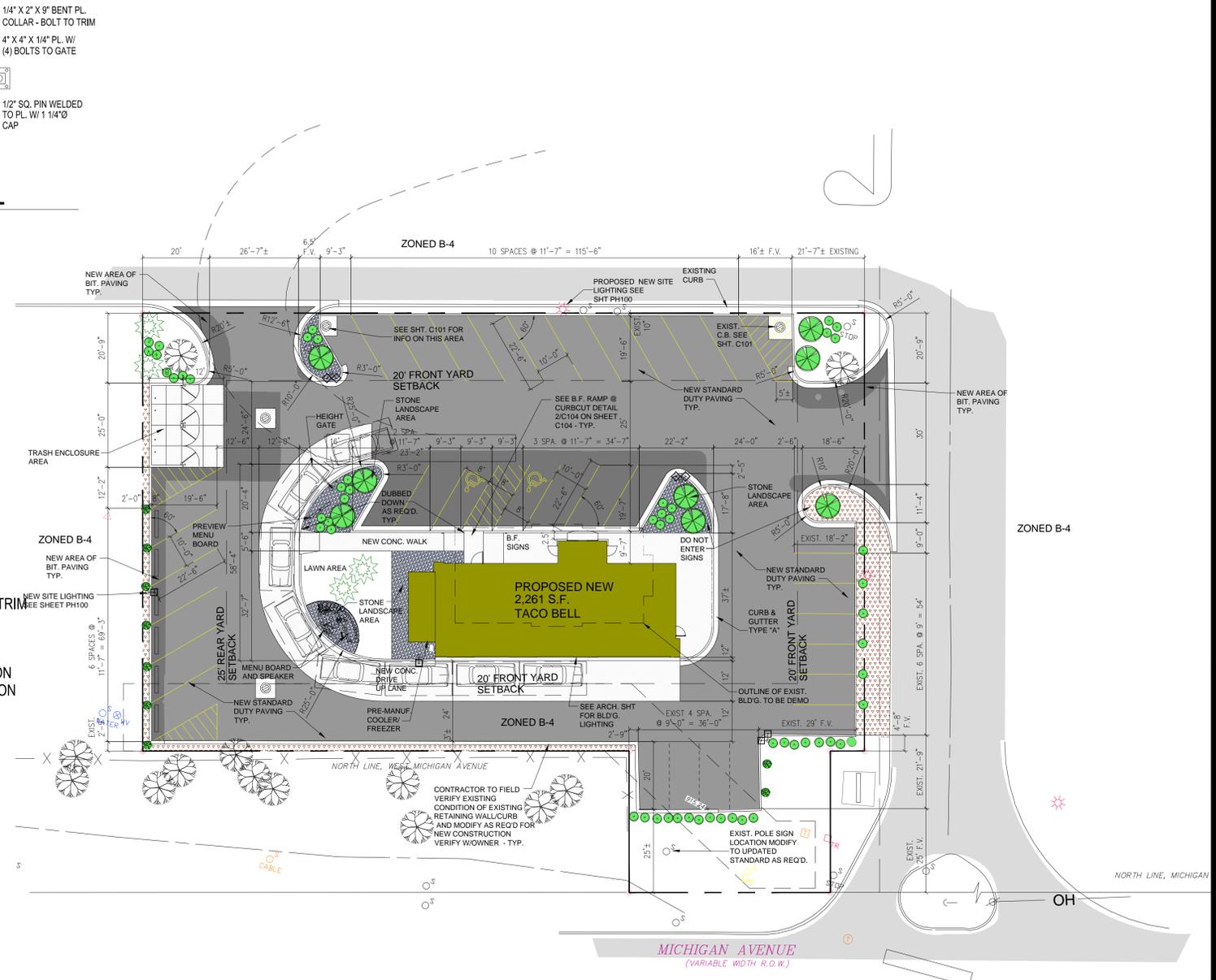
- THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS, INCLUDING THE CONTRACTORS, SUBCONTRACTORS, AND MANUFACTURERS SHOP DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL CORRECTIONS HAVE BEEN MADE.
  - CONSTRUCTION SHALL COMPLY WITH ALL CODES, STANDARD BUILDING PRACTICES AND REGULATIONS OF GOVERNING AUTHORITIES. CONTRACTOR SHALL NOTIFY MISS DIG PRIOR TO THE START OF CONSTRUCTION.
  - DRAWINGS:** ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS IF INCLUDED. CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. THE OWNER SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. **DO NOT SCALE DRAWINGS.**
  - COMPLETENESS:** ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT. IN THE CASE OF CONFLICTING QUANTITIES / VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
  - PERMITS:** EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABORS, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINER'S COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE ARCHITECT.
  - DOCUMENTATION:** THE CONTRACTOR SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
  - AT COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE CONTRACTOR WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS RELATED TO THEIR WORK CATEGORY AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT, THAT THE WORK IS COMPLETE ACCORDING TO ALL CONTRACT DOCUMENTS, AND THE CORRECTIONS TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVER SAME TO THE ARCHITECT.
  - DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCE, LAWS, CODES, RULES OR REGULATIONS (BASED ON THE WORK), THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR ARCHITECT.
- FIELD MEASURE AND VERIFY OR REVISE DIMENSIONAL INFORMATION TO THE EXTENT REQUIRED TO EXECUTE THE WORK REQUIRED ON THE CONTRACT DOCUMENTS.
  - THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF EXISTING CONDITIONS INVALIDATE THE DRAWING OR WHEN QUESTIONS ARISE REGARDING THE INTENT OF THE DRAWINGS.
  - UNLESS INDICATED OTHERWISE, F.L.R. MAT'L CHANGES SHALL OCCUR BENEATH DOORS OR THRESHOLDS.
  - WHERE OPENINGS IN INTERIOR PARTITIONS OCCUR (INCLUDING DOORS AND WINDOWS), CONSTRUCTION ABOVE OPENINGS SHALL MATCH ADJ. CONSTRUCTION IN FINISH AND FIRE RATING.
  - GENERAL CONTRACTOR IS TO VERIFY LOCATION OF ALL EMERGENCY AND EXIT LIGHTS WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
  - MECHANICAL AND ELECTRICAL CONTRACTORS MUST COORDINATE WITH OTHER TRADES TO ASSURE COMPATIBILITY INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
    - A. STRUCTURAL LOADING
    - B. POWER REQUIREMENTS
    - C. CLEARING FOR INSTALLATION & MAINTENANCE
 MECHANICAL AND ELECTRICAL CONTRACTORS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES & ALL APPLICABLE MUNICIPAL AND OTHER GOVERNMENTAL APPROVALS.
  - MECHANICAL SCOPE, FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
    - A. HEATING AND COOLING REQUIREMENTS
    - B. AIR HANDLING UNIT(S)
    - C. FIRE PROTECTION SYSTEM(S)
    - D. PLUMBING SYSTEM
    - E. TEMPERATURE CONTROL SYSTEM
    - F. SUPPLY DIFFUSERS, RETURN AIR GRILLS
    - G. DUCTWORK, PIPING & INSULATION
    - H. FIRE AND EXHAUST DAMPERS
 ELECTRICAL SCOPE: LIGHTING SYSTEM SHALL BE PROVIDED TO MAINTAIN LIGHT CONSISTENT WITH CURRENT IES STANDARDS. FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
    - A. CONDUIT
    - B. WIRING
    - C. PANELS
    - D. TRANSFORMERS
    - E. SWITCHES
    - F. RECEPTACLES
    - G. COMMUNICATION
    - H. EXIT SIGNS
    - I. SMOKE DETECTORS
    - J. LIGHT FIXTURES



**LATCH DETAIL**



**2 DUMPSTER DETAILS**  
SCALE: NO SCALE



**1 SITE PLAN**  
SCALE: 1" = 20'-0"

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**TACO BELL**

**TACO BELL #5047**  
CHICAGO DIVERSIFIED  
FOODS CORP.  
15955 W MICHIGAN AVE  
CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

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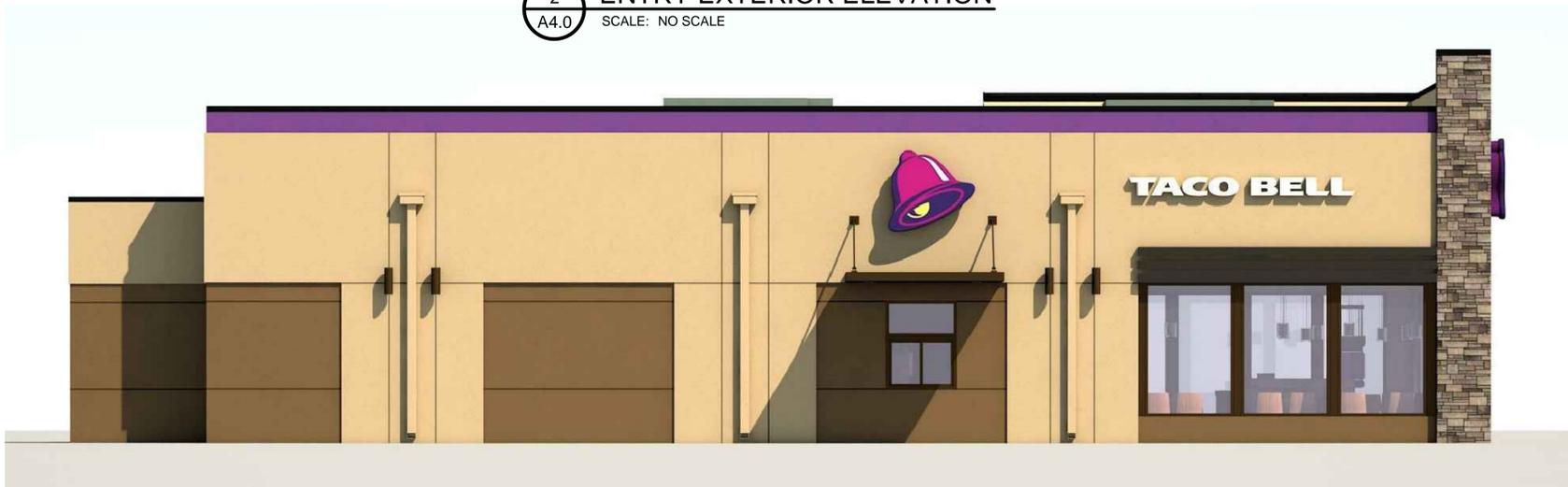
**C1.0**



2 ENTRY EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



1 FRONT EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



4 DRIVE THRU EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



3 REAR EXTERIOR ELEVATION  
A4.0 SCALE: NO SCALE



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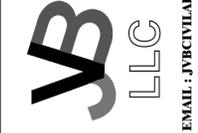
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**R1.0**



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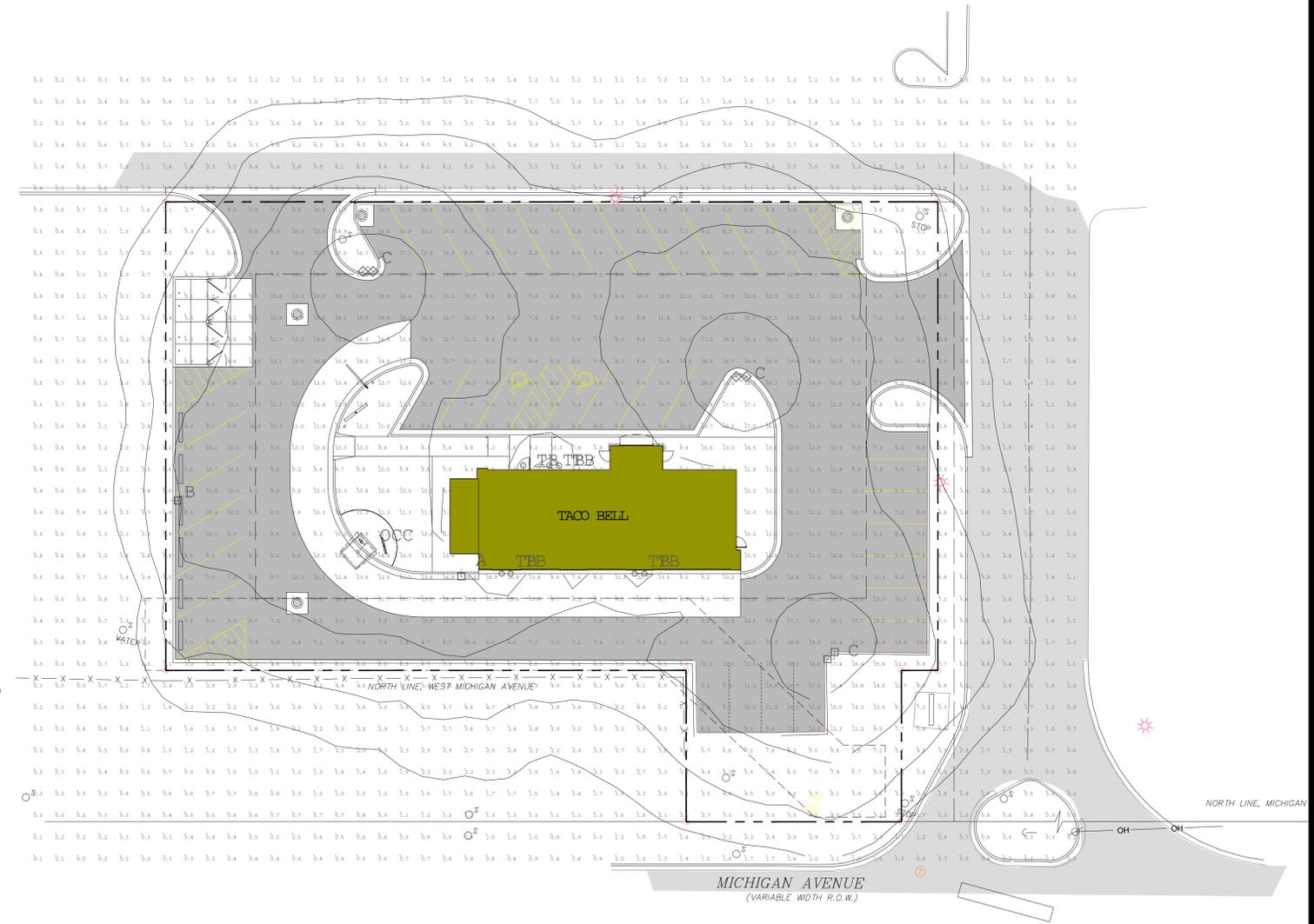
**PHO.1**

Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	5.50	26.8	0.1	55.00	268.00
DRIVE-THRU LANE SURFACE	12.14	26.8	7.6	1.60	3.53
PARKING LOT SURFACE	10.05	19.9	3.6	2.79	5.53

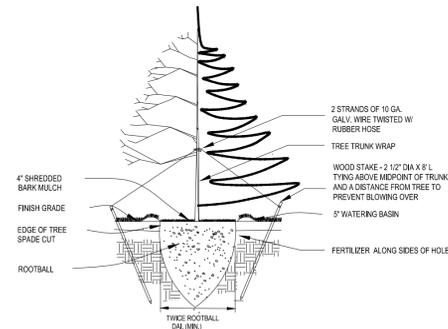
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Lum. Watts	Description
□	1	A	SINGLE	110000	0.720	1080	ACCU 95200-210 / 95200-425S
□	1	B	SINGLE	110000	0.720	1080	ACCU 95200-PP10 / 95200-HES / 95200-425S
⊘	3	C	2 @ 90 DEGREES	110000	0.720	1080	(2) ACCU 95200-PP10 / 95200-425D90
□	1	OCC	SINGLE	12500	0.700	185	ORDER CONFIRMATION CANOPY
○	7	TB	SINGLE	1230	0.900	36	ACCU 05247-051-052 @ 9.17' A.F.G.

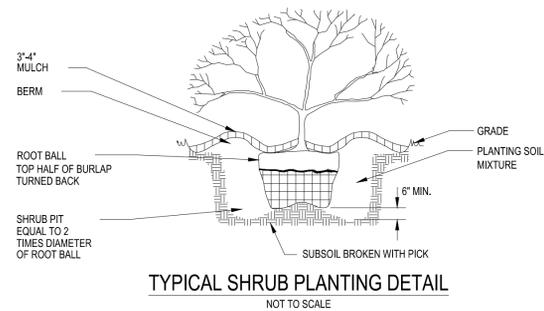
SITE FIXTURES ARE 1000W METAL HALIDE w/ SAG LENSES  
 FIXTURE B HAS A HOUSE SIDE SHIELD  
 POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.



CONTRACTOR SHALL PROVIDE SPECIFIED TREES AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI 280.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.



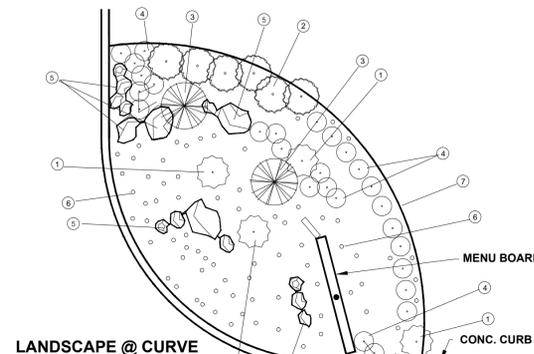
TREE SPADE PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL

NOTES:

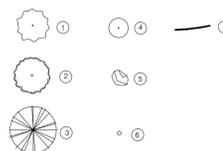
1. 1'-0" DIA. MIN. BARK MULCH BED AROUND ALL PLANTINGS (TYP.)
2. ALL LAWN AREA TO HAVE 4'-6" OF SAND-LOAM TOPSOIL.
3. HYDRO SEED (ALL DISTURBED AREA)
  - 30% ARIZONA KENTUCKY BLUEGRASS
  - 30% KENTUCKY BLUEGRASS
  - 20% THIRD GENERATION PERENNIAL RYEGRASS WITH ENDOPHYTE
  - 20% IMPROVED VARIETY CREEPING RED FESCUE



LANDSCAPE @ CURVE

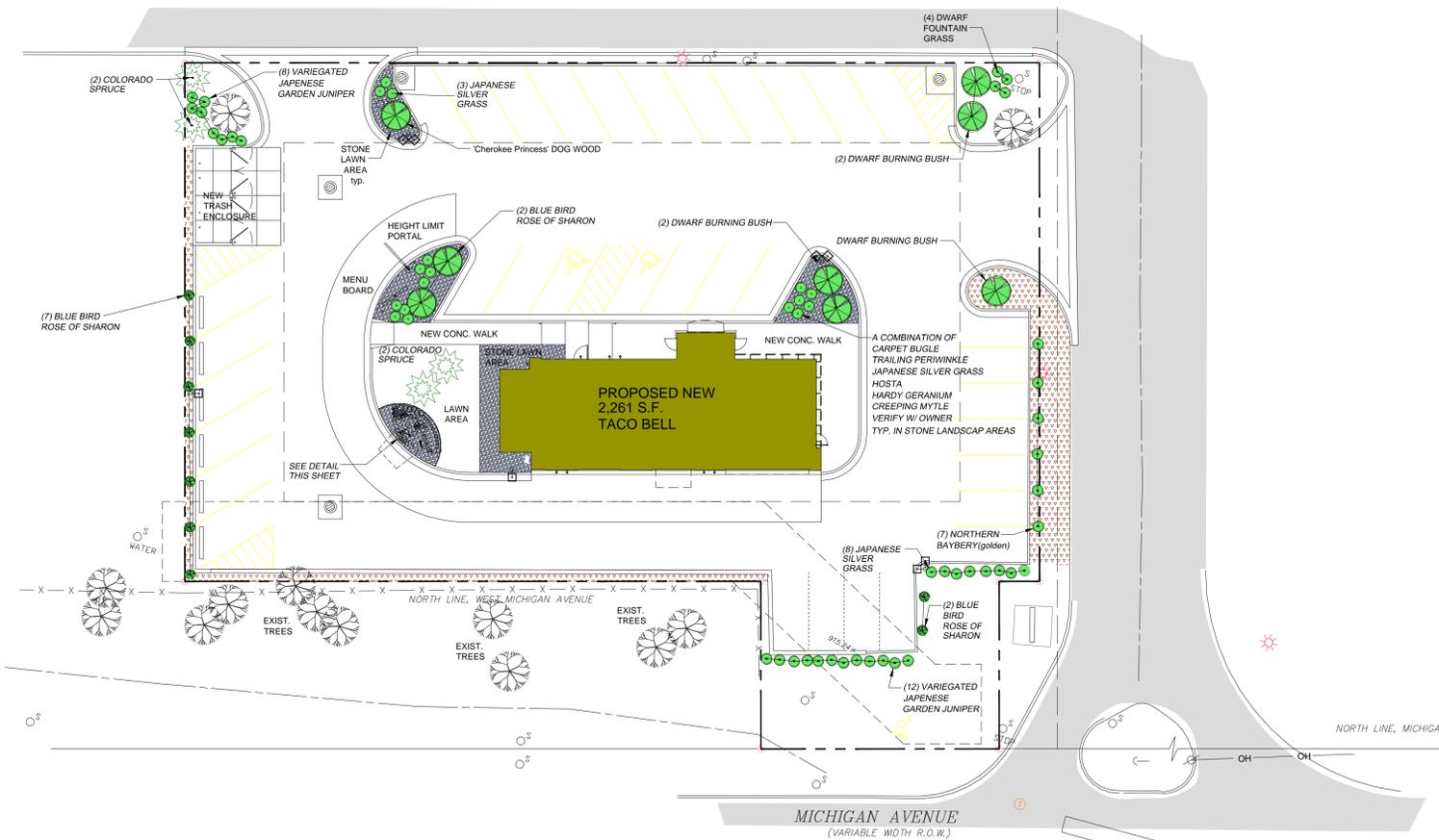
REGION 5 - MIDWEST					
NO.	MATERIAL	QTY	SIZE	HGT.	SP.
1	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL	12"	12"
2	JAPANESE BARBERRY BERBERIS THUNBERGII	PER PLAN	3 GAL	15"	15"
3	SOAPWOOD YUCCA GLAUCA	PER PLAN	5 GAL		
4	DWARF GOLDEN HARDYRUTEM THALIA OCCIDENTALIS 'PHENOLD'	PER PLAN	5 GAL	24"	24"
5	LIMESTONE BOULDER SAND GRAY - 4" TO 24"	PER PLAN	6" SQ	N/A	N/A
6	RIVER ROCK STONE VENYI'S BEE W/ OWNER	PER PLAN	3"	N/A	N/A
7	STEEL EDGING	PER PLAN	N/A	2" HGT 2" BFG	N/A

MATERIALS LEGEND



PLANT MATERIAL SCHEDULE

AMOUNT		COMMON NAME	LATIN NAME	SIZE
4	EVERGREEN	COLORADO SPRUCE	<i>Picea pungens</i>	5' HT.
1	UNDERSTORY	'Cherokee Princess' DOG WOOD	<i>Cornus florida</i>	2 1/2" Cal
3	SHRUB DEC.	DWARF BURNING BUSH	<i>Euonymus alata 'Compacta'</i>	18"-24"
20	SHRUB EVER.	VARIEGATED JAPANESE GARDEN JUNIPER	<i>Juniperus chinensis 'Procumbens Variegata'</i>	18"-24"
7	SHRUB DEC.	NORTHERN BAYBERY(golden)	<i>Berberis thunbergii 'Aurea'</i>	18"-24"
9	SHRUB DEC.	BLUE BIRD ROSE OF SHARON	<i>Hibiscus Syriacus "Blue Bird"</i>	18"-24"
AS REQ'D. PER PLAN		CARPET BUGLE	<i>Ajuga reptans</i>	VARIES
		TRAILING PERIWINKLE	<i>Vinca minor</i>	VARIES
		JAPANESE SILVER GRASS	Little Fountain & Little Zebra	VARIES
AS REQ'D. PER PLAN		HOSTA		VARIES
		HARDY GERANIUM		VARIES
		CREEPING MYTLE		VARIES



1  
L100

LANDSCAPE SITE PLAN

SCALE: 1" = 20'-0"



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CITY OF MARSHALL, CALHOUN COUNTY, MICHIGAN

PRELIM. 1/19/15

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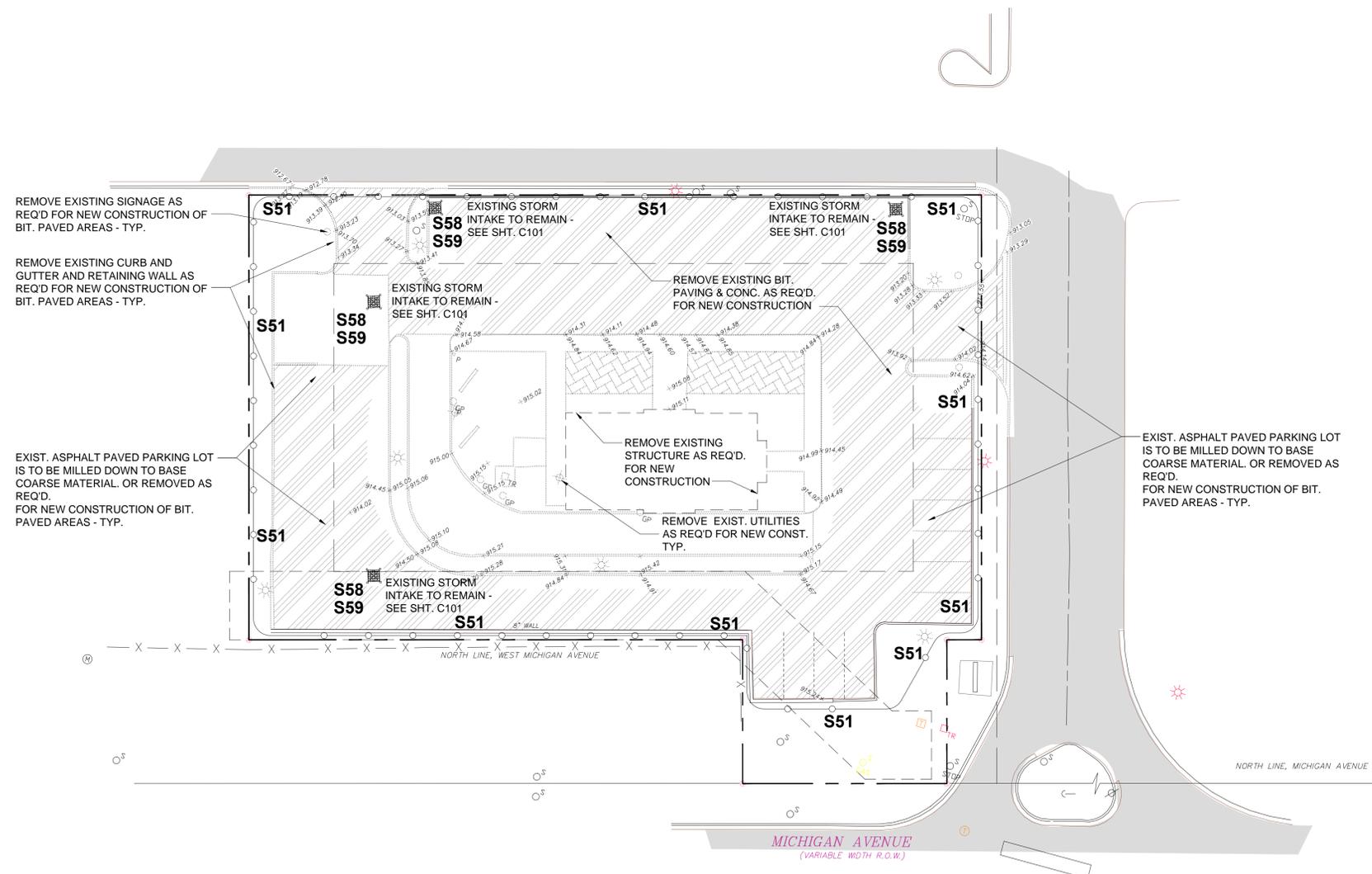
SEAL

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PROJECT NUMBER 014028

L100

**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET  
S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
<b>SEDIMENT CONTROLS</b>			
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.
S59	INLET PROTECTION FABRIC FENCE		Use at stormwater inlets, especially at construction sites.
E12	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.



1
**SITE DEMOLITION/SILTATION PLAN**  
 SCALE: 1" = 20'-0"

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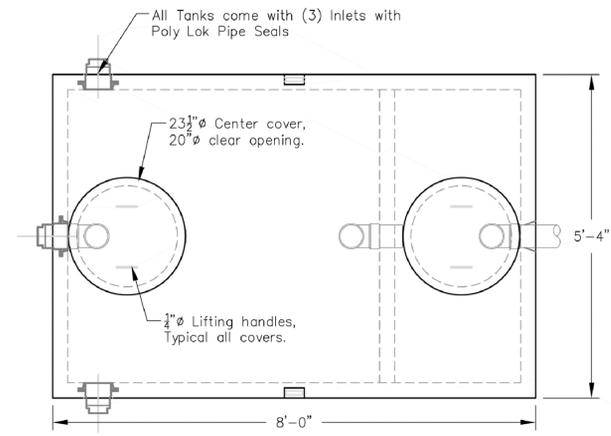


**TACO BELL #5047**  
**CHICAGO DIVERSIFIED**  
**FOODS CORP.**  
 15955 W MICHIGAN AVE  
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**D1.0**

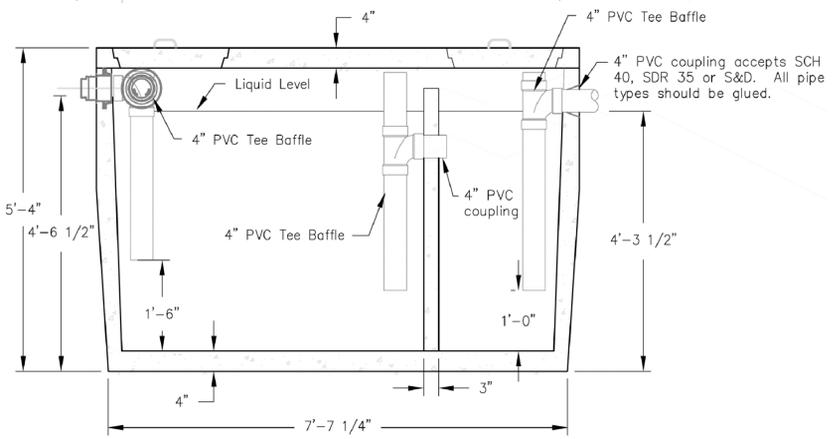


**General Notes:**

- Concrete Specifications:**
- 1) 4000 psi @ 28 Days
  - 2) 4%-6% Entrained Air
  - 3) Tank Penetrations are integrally cast
  - 4) All joints sealed with butyl rubber joint sealant

**Grease Trap Information:**

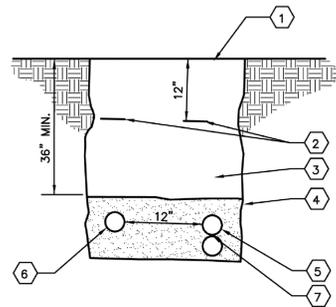
- 1) Tanks Should be pumped as needed
- 2) Access covers should have risers to bring cover access to grade.
- 3) Tanks can be vacuum tested at an additional cost



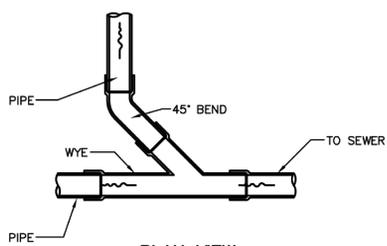
**1 SIM. TO GREASE TRAP DETAIL**  
C104 SCALE: NO SCALE

**KEYED NOTES**

- 1 TOPSOIL & SEED, OR PAVEMENT AS DETAILED ELSEWHERE.
- 2 CONTINUOUS METALLIC WARNING TAPE
- 3 CLEAN SELECT GRANULAR BACKFILL
- 4 6" CLEAN SAND ENVELOPE
- 5 4" PVC ELECTRICAL CONDUITS (SCHEDULE 40), QUANTITY AS REQUIRED
- 6 4" PVC TELEPHONE CONDUIT (SCHEDULE 40), QUANTITY AS REQUIRED
- 7 MAINTAIN 2" MINIMUM SPACING BETWEEN CONDUITS.



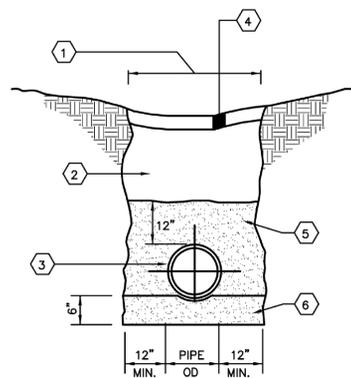
**ELECTRICAL & COMMUNICATIONS SERVICE TRENCH**  
N.T.S.



**WYE CONNECTION**  
N.T.S.

**KEYED NOTES**

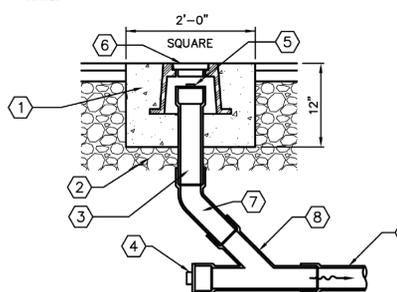
- 1 EXCAVATE WIDTH OF TRENCH AS NEEDED
- 2 PLACE SUITABLE SOIL OR GRANULAR BACKFILL IN 6" MAX. LIFTS. SUITABLE SOIL SHALL BE COMPACTED TO 90% MIN. (98% MIN. UNDER PAVEMENT) DRY DENSITY, PER ASTM D698, GRANULAR BACKFILL SHALL BE COMPACTED TO 75% (80% UNDER PAVEMENT) RELATIVE DENSITY, PER ASTM 4353. GRANULAR BACKFILL REQUIRED UNDER PAVEMENT.
- 3 PROPOSED STORM OR SANITARY SEWER
- 4 TOPSOIL, SEED, AND MULCHING OR PAVEMENT AS DETAILED ELSEWHERE.
- 5 NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE
- 6 NO. 57 OR NO. 67 AGGREGATE PLACED A MINIMUM OF 6" BELOW THE BOTTOM OF THE PIPE



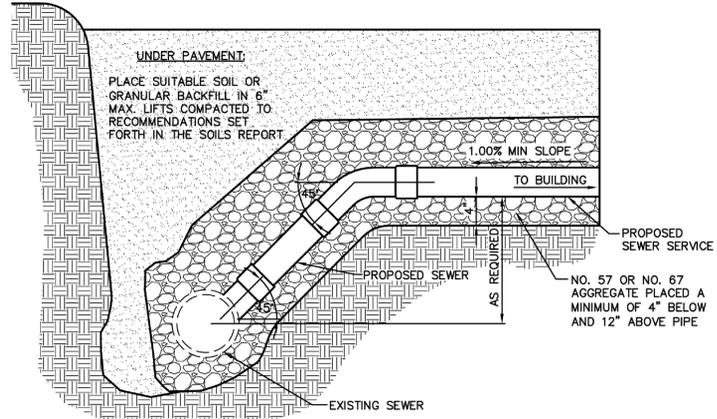
**SEWER TRENCH**  
N.T.S.

**KEYED NOTES**

- 1 CONCRETE, MATCH PAVEMENT SPEC.
- 2 6" (MIN.) AGGREGATE BASE
- 3 6" DIA. CLEAN-OUT PIPE
- 4 CAP AND SEAL CONDUIT
- 5 THREADED CLEAN-OUT CAP
- 6 CAST-IRON MONUMENT BOX, EJIW 1570 OR APPROVED EQUAL
- 7 45° BEND
- 8 WYE
- 9 SEWER



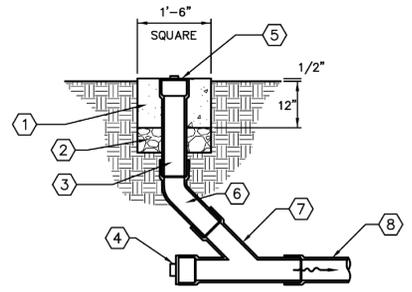
**CLEAN OUT (PAVEMENT AREA)**  
N.T.S.



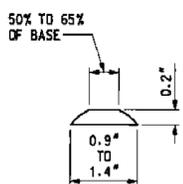
**SEWER RISER (TAP)**  
N.T.S.

**KEYED NOTES**

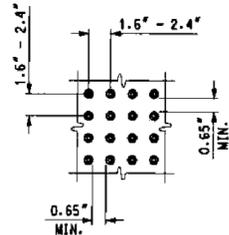
- 1 CONCRETE, MATCH PAVEMENT SPEC.
- 2 6" (MIN.) AGGREGATE BASE
- 3 6" DIA. CLEAN-OUT PIPE
- 4 CAP AND SEAL CONDUIT
- 5 THREADED CLEAN-OUT CAP
- 6 45° BEND
- 7 WYE
- 8 SEWER



**CLEAN OUT (LAWN AREA)**  
N.T.S.

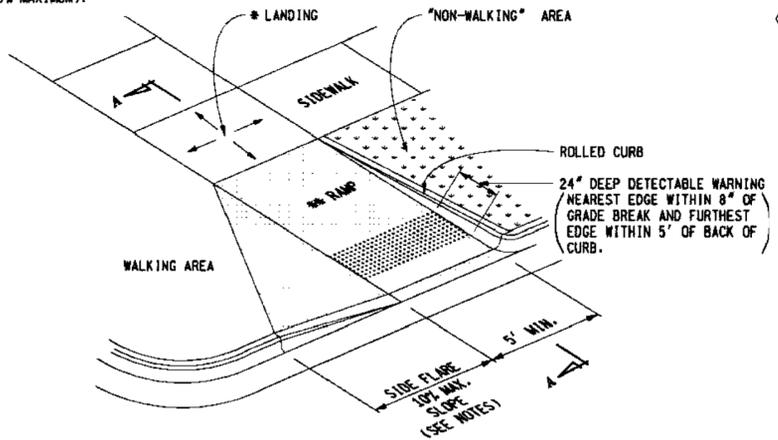


**DOME SECTION**

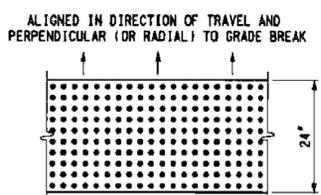


**DOME SPACING**

- \* MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.
- \*\* MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (8.3% MAXIMUM).



**2 B.F. RAMP DETAIL @ CURB CUTS**  
C104 SCALE: NO SCALE



**DOME ALIGNMENT**



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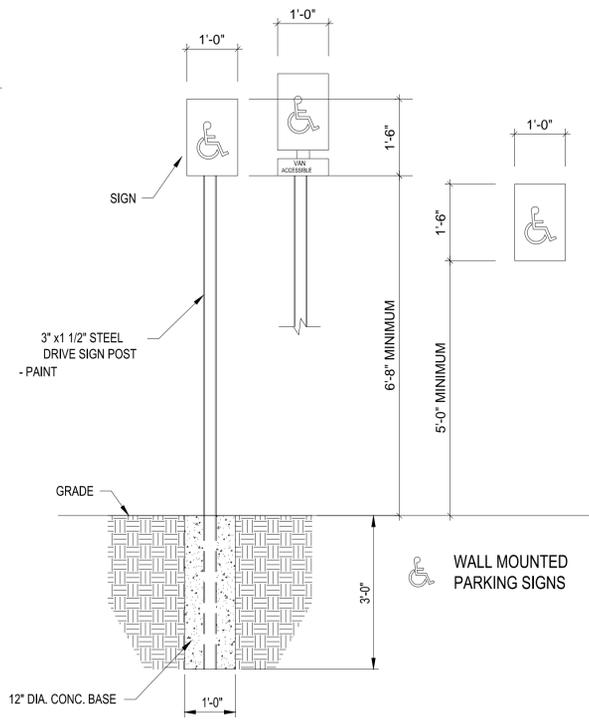


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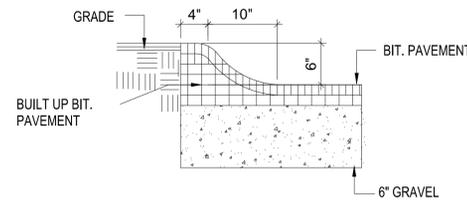
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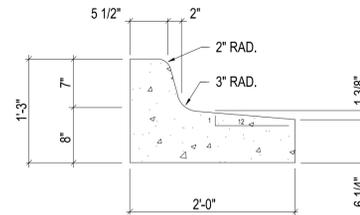
**C104**



TYPICAL B.F. SIGN POST DETAIL



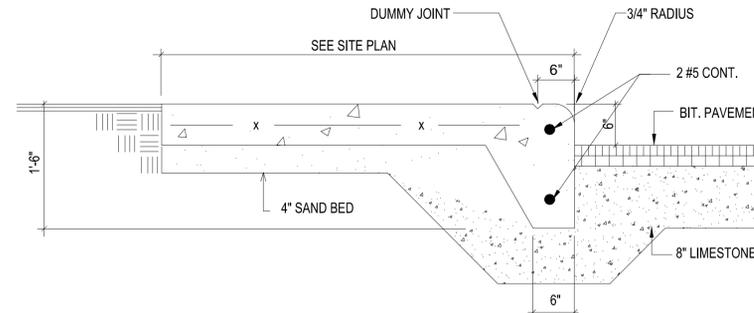
TYPICAL ASPHALT ROLLED CURB DETAIL



TYPE "A" 24" CURB AND GUTTER

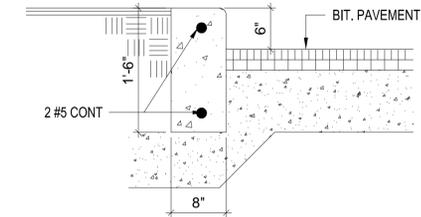
2 DETAIL  
C103 SCALE: 1" = 1'-0"

1 NOT USED  
C103 SCALE: 1" = 1'-0"



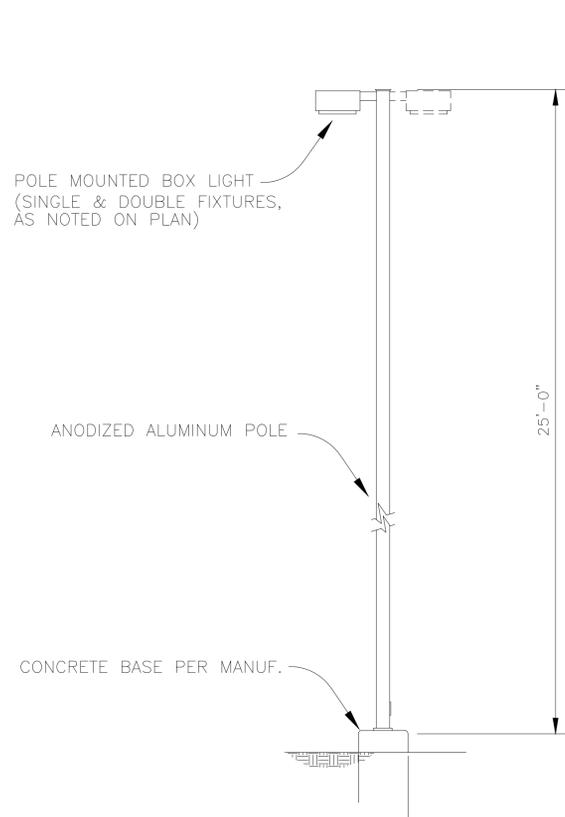
TYPICAL CURB WALK DETAIL

4 DETAIL  
C103 SCALE: 1" = 1'-0"

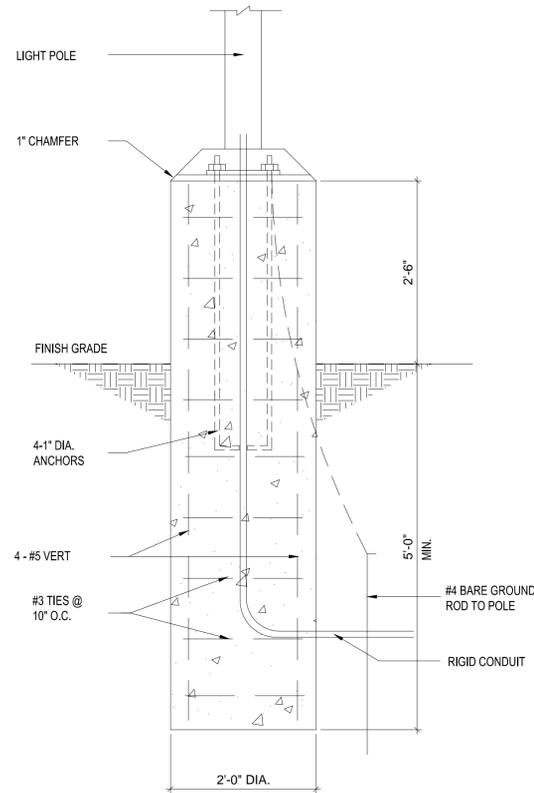


TYPICAL CURB DETAIL

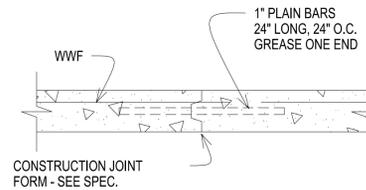
3 DETAIL  
C103 SCALE: 1" = 1'-0"



PARKING LOT LIGHT DETAIL

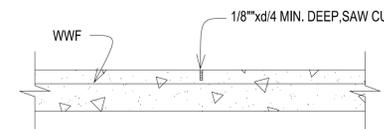


TYPICAL LIGHT POLE BASE DETAIL



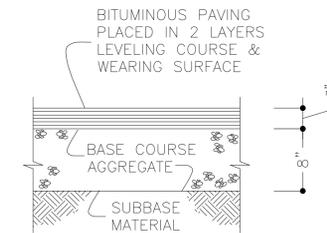
TYPICAL CONSTRUCTION JOINT DETAIL

7 DETAIL  
C103 SCALE: NO SCALE



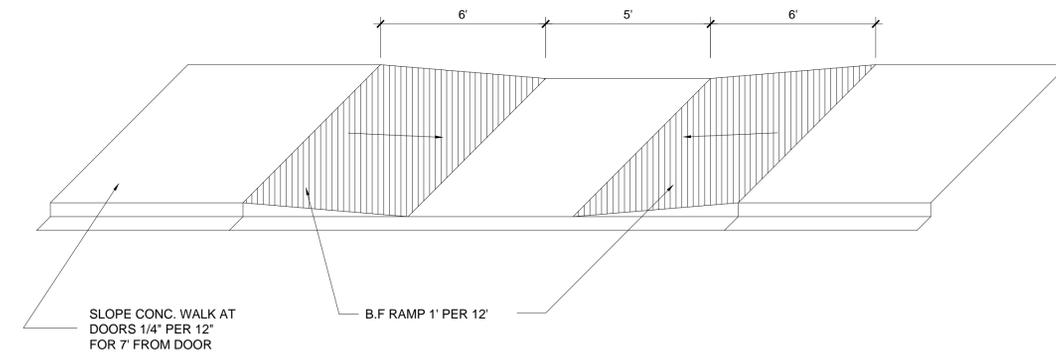
TYPICAL CONTROL JOINT DETAIL

6 DETAIL  
C103 SCALE: NO SCALE



TYPICAL STANDARD DUTY PAVING SECTION

5 DETAIL  
C103 SCALE: NO SCALE



BARRIER FREE RAMP DETAIL

7 DETAIL  
C103 SCALE: NO SCALE

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**TACO BELL**

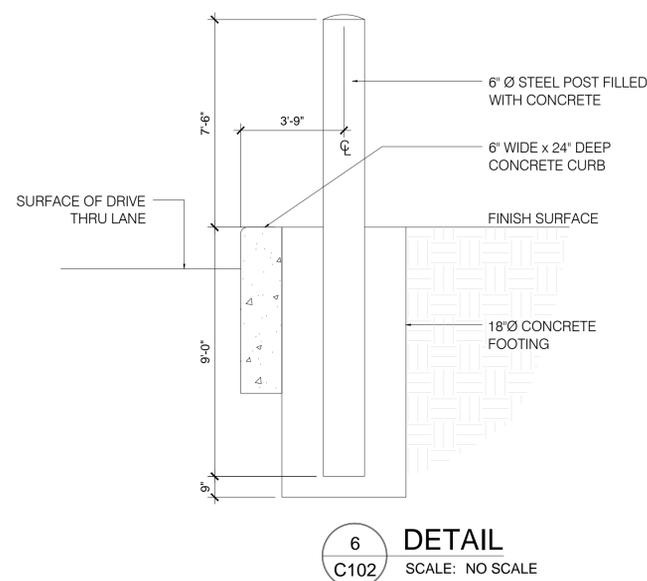
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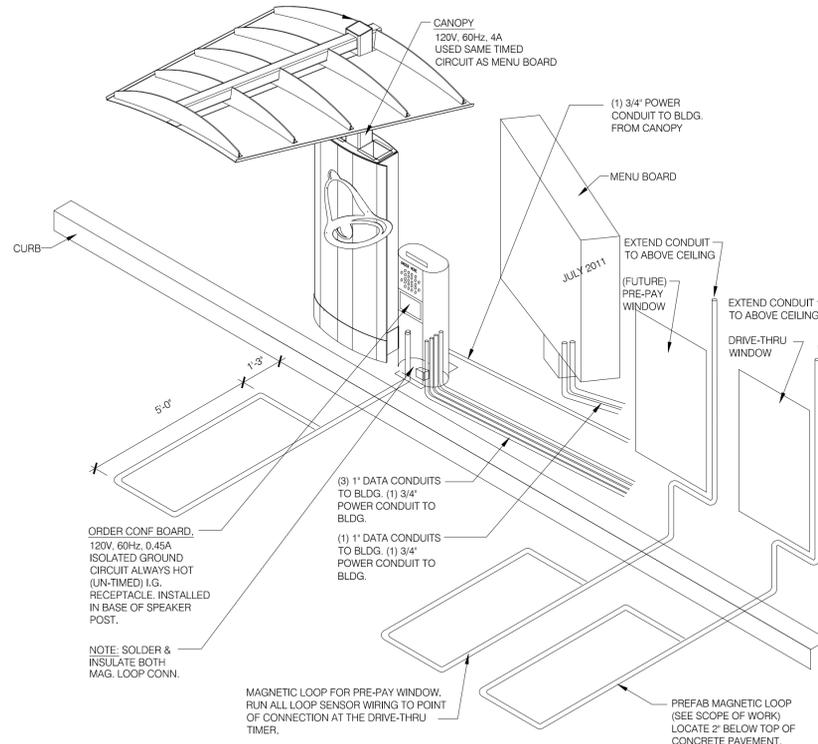
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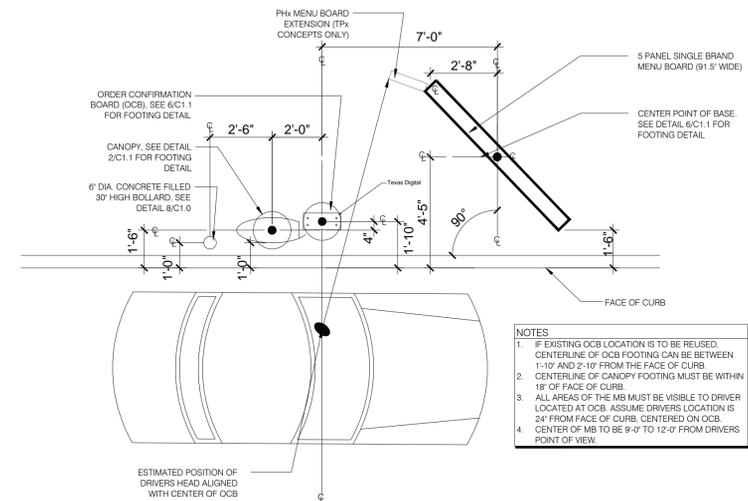
**C103**



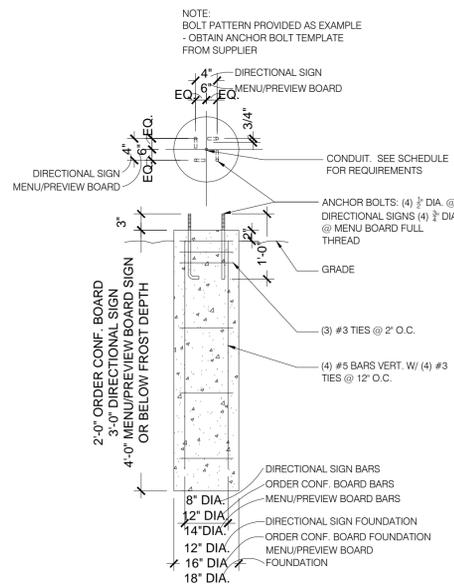
**6**  
C102 **DETAIL**  
SCALE: NO SCALE



**5**  
C102 **DRIVE UP SPEAKER DETAIL**  
SCALE: NO SCALE



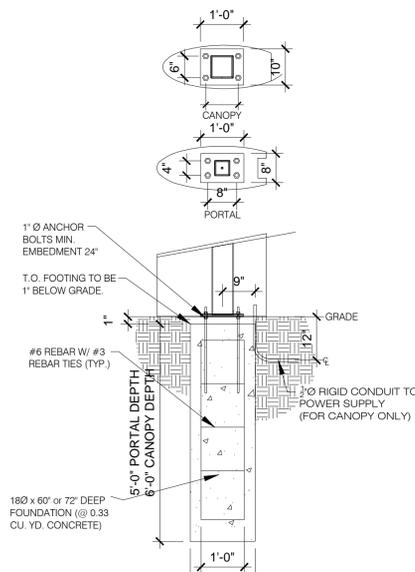
**1**  
C102 **DRIVE UP SPEAKER DETAIL**  
SCALE: NO SCALE



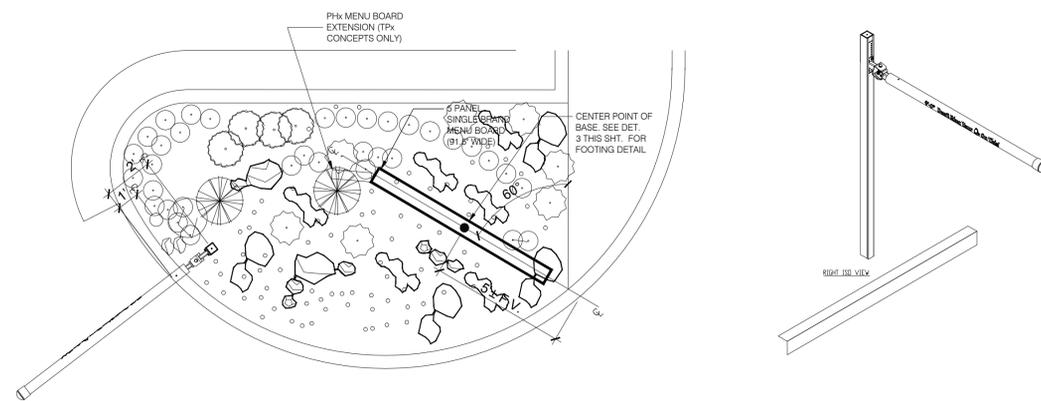
**4**  
C102 **DETAIL**  
SCALE: NO SCALE

DEVICE	POWER	DATA
DIRECTIONAL	(1) 1"	-
OCB	(1) 1"	(3) 1"
MENU BOARD	(1) 1"	(1) 1"

NOTE:  
ALL CONDUIT TO BE MIN. 12"  
BELOW GRADE OT LOCAL  
FROST DEPTH AND PROJECT  
3' ABOVE FOUNDATION



**3**  
C102 **DETAIL**  
SCALE: NO SCALE



**2**  
C102 **DRIVE UP HEIGHT RESTRICTION DETAIL**  
SCALE: NO SCALE



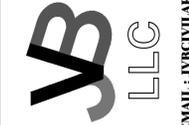
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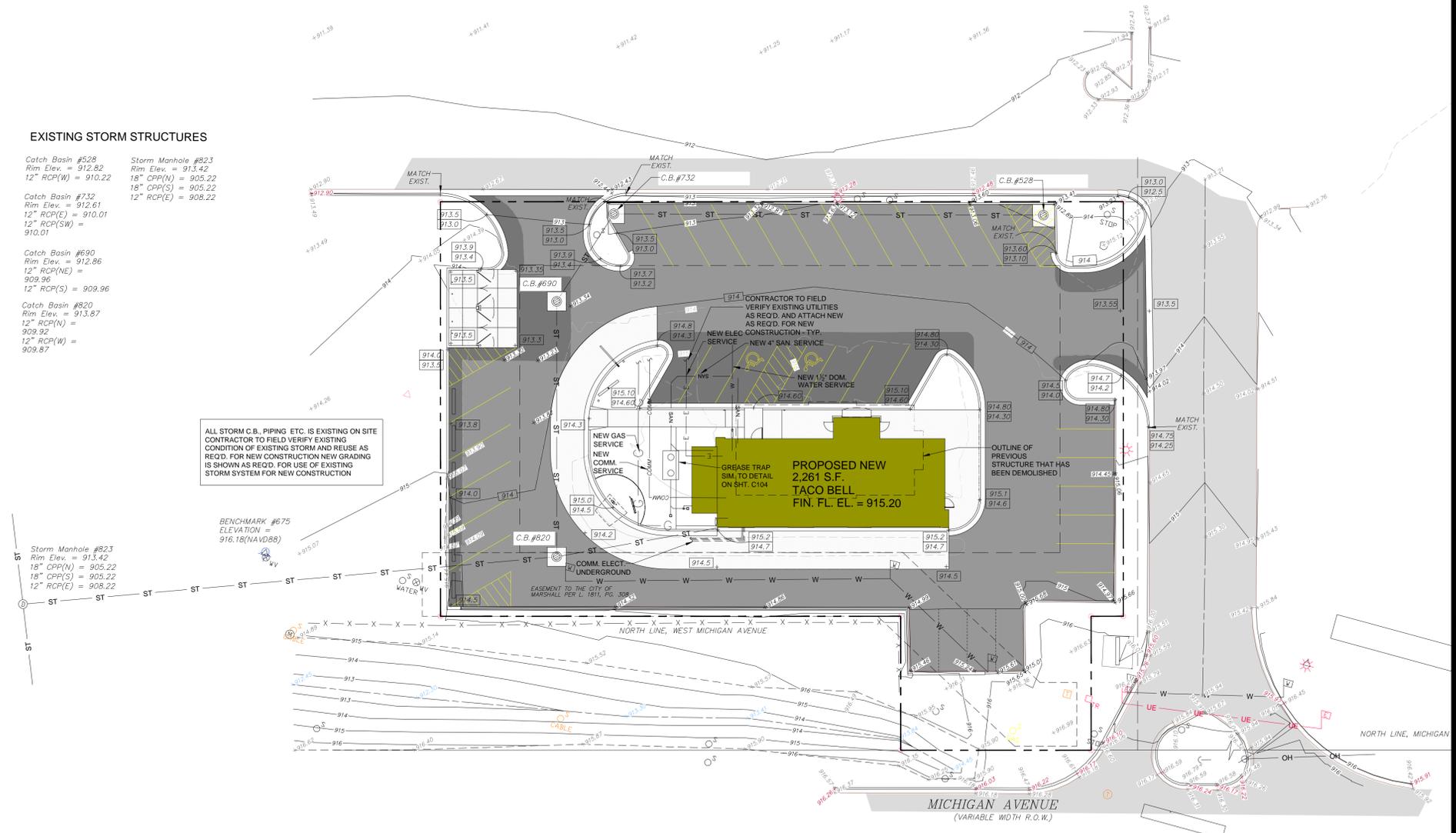
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**C102**

**EXISTING STORM STRUCTURES**

Catch Basin #528 Rim Elev. = 912.82 12" RCP(W) = 910.22	Storm Manhole #823 Rim Elev. = 913.42 18" CPP(N) = 905.22 18" CPP(S) = 905.22 12" RCP(E) = 908.22
Catch Basin #732 Rim Elev. = 912.61 12" RCP(E) = 910.01 12" RCP(SW) = 910.01	
Catch Basin #690 Rim Elev. = 912.86 12" RCP(NE) = 909.96 12" RCP(S) = 909.96	
Catch Basin #820 Rim Elev. = 913.87 12" RCP(N) = 909.92 12" RCP(W) = 909.87	



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