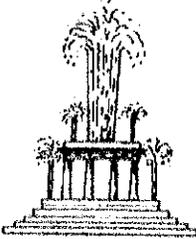


City of Marshall
Application for Site Plan Review



Attn: Planning & Zoning Administrator
323 W Michigan Ave.
Marshall, Michigan 49068

Official Use:

Date Received: 1/30/15 Received by: ND Approved X
Application Complete: X Fee Paid: \$250.00 Receipt Number: 524640

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

1. Applicant Information

Address of Property being developed:

15955 W MICHIGAN AVE

Owner of Property: MIKE BASILE

CHICAGO DIVERSIFIED FOODS CORP.

Address: 400 W 22ND ST "E" City: LAMBARO State: MI Zip: 60148

Email: BASILEMIKEA@AOL.COM Telephone: 630-889-1818 Cell: 616-437-2908

2. Owner's Agent if working for property owner.

Title: OWNER SUB ARCHITECT Name: JAMES VANDEN BERG

Address: 2065 FOXRIDGE City: GRAND RAPIDS State: MI Zip: 49505

Email: JVB@CIVILARCH@COMCAST.NET Telephone: () - Cell: 616-443-2524

City of Marshall
Application for Site Plan Review

3. Brief description of proposed project

DEMO EXIST TACO BELL +
REPLACE WITH A NEW PROTO-TYPE
TACO BELL

4. Property Information

Zoning District: B-4 Are there wetlands present? Yes ___ or No X

Is the property located in a floodplain? Yes ___ or No X

Land Area in square feet: 30,489 sf Building Area in square feet:

2,661 sf

Number of Square feet of paved areas: EXIST 22,580 - PROPOSED 22,270

Is there a lake or stream within 500 feet of the subject property: Yes ___ or No X

Number of parking spaces: Existing 35 or Proposed 35

Has any other agency been contacted for approvals? Yes ___ or No X. If yes,
please list those agencies and the date:

Agency	Contact	Date
_____	_____	_____
_____	_____	_____

5. Site Plan Submission Requirements (Review Zoning Ordinance for all requirements)

1. Complete the Application.
2. Review and follow the Site Plan Review checklist.
3. Go to www.cityofmarshall.com - Planning and Zoning and click on Marshall City Code of Ordinances and then type in "156".
4. Submit a certified survey of the property with the site plan.
5. Submit a copy of the deed showing ownership.

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Application for Site Plan Review

6. Authorization (Must be signed by the owner of the property)

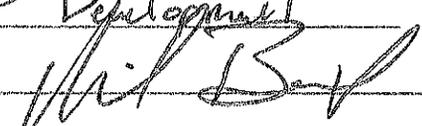
I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Michael A. Basile

Title: VP Development Date: February 9 2015

Signature: 

Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
PLATS	
Up to 30 Lots	\$450.00
Over 30 Lots	\$650.00
SITE CONDOMINIUMS	
Up to 30 Lots	\$350.00
Over 30 Lots	\$550.00
SITE PLANS	
Commercial and Industrial	\$250.00 < 30 acres \$350.00 - 30 acres or more
Institutional	\$250.00
Special Land Use	\$250.00
Planned Unit Development (PUD)	\$350.00
Amend a PUD development	\$150.00
Multiple Family Developments (Apartment & Condo's)	\$50 plus \$5.00 per unit or lot minimum fee \$250.00
Additions to existing Site Plans if Planning Commission Review is required	\$100.00
Extending Site Plan with Planning Commission approval	\$150.00