

AGENDA
CITY OF MARSHALL PLANNING COMMISSION
City Hall-Council Chambers-323 W. Michigan Ave., Marshall, MI
Wednesday – January 14, 2015 – 7:00 p.m.

CALL TO ORDER

ROLL CALL

CONSIDERATION OF MINUTES

Regular meeting minutes from December 10, 2014

APPROVAL OF AGENDA

AUDIENCE PARTICIPATION

Items on the agenda-- Citizens who wish to speak on a matter on the agenda may do so when called upon by the Chairman. Those people addressing the Board are required to give their name and address for the record and shall be limited to speaking for a maximum of five (5) minutes on a given matter.

PUBLIC HEARINGS

None

NEW BUSINESS

1. Receive and consider approval of final Site Plan #SP14.04 for Goodwill Industries at 842 W. Michigan Ave.
2. Review and approve Planning Commission & Zoning Board of Appeals 2014 Annual Report

OLD BUSINESS

None

PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA -- Citizens who wish to address the Board on items not on the agenda may do so at this time. When called upon by the Chairman, please state your name and address for the record. Members of the public shall be limited to speaking for a maximum of five (5) minutes.

REPORTS

Commissioners
City Council Liaison
DDA Liaison
ZBA Minutes: Found online at www.cityofmarshall.com
Staff Reports
Code Enforcement Index

ADJOURN

**MINUTES
MARSHALL CITY PLANNING COMMISSION
WEDNESDAY, December 10, 2014**

In a regular meeting session, Wednesday, December 10, 2014 at 7:00 p.m. at City Hall, Council Chambers, 323 W. Michigan Ave., Marshall, MI, the Marshall Planning Commission was called to order by Chair Davis.

ROLL CALL

Members Present: Commissioners Davis, Banfield, Collins, Meservey, McNiff, Burke Smith and Council Liaison Jody Mankerian

Members Absent: Commissioners Zuck and Rodgers

Staff Present: Natalie Dean, Director of Community Services

MINUTES

MOTION by Collins, supported by McNiff, to accept the minutes of the November 12, 2014 regular meeting with the following change:

- Under Commissioner Meservey's report, the term "committee" will be changed to "board".
- On a voice vote; **MOTION CARRIED.**

AGENDA

MOTION by McNiff, supported by Meservey, to accept the agenda for the December 10, 2014 regular meeting as presented. On a voice vote; **MOTION CARRIED.**

AUDIENCE PARTICIPATION

Michelle Parkkonen, planner with MEDC for the RRC program, was present to observe Planning Commission procedures for the RRC certification.

PUBLIC HEARINGS

None

NEW BUSINESS

Recommendation on Planning Commission Draft Capital Improvements Plan 2015-2021

MOTION by Banfield, supported by Collins, to recommend the Planning Commission Draft Capital Improvements Plan 2015-2021.

Mankerian inquired if the community visioning and Master Plan survey results would be included in the CIP, especially the need for sidewalks. There was a specific area that many residents commented on the need for improved pathways towards the athletic fields.

Staff replied that the City is aware of the need, and that they should be considered in the non-motorized plan for the corridor.

On a voice vote; **MOTION CARRIED.**

OLD BUSINESS

None

PUBLIC COMMENTS

None

REPORTS

Davis reported that Goodman received a job transfer and resigned from the Planning Commission. Rodgers has moved outside of the City as well. These changes leave two positions to fill, and hopefully one seat can be filled by Mankerian after her transition off City Council.

Mankerian reported that Thursday, December 11th is the final Girls Night Out downtown for 2014. There are currently five of these events scheduled for 2015. Local radio station 103.3 will be having live remote coverage from multiple locations downtown. Vintage Vixens will be offering neck and hand massages at East End Gallery and make-up at The Plaid Herb. She also remarked on recent MDOT sign changes at West Drive which is causing an increase of truck traffic downtown.

Staff reported that the January Joint Planning Commission meeting is likely to be cancelled. If the meeting is needed, it will be noticed. Goodwill should be presenting their final site plan in January. It is expected to be presented for approval contingent upon another variance from Zoning Board of Appeals for setbacks on the west side of the property.

ADJOURN

The Planning Commission adjourned at 7:25 pm.

Submitted by,

Lisa Huepenbecker

Report To: Chairman Davis and Planning Commission Members
From: Natalie Dean, Director of Community Services

Meeting Date: January 14, 2015

SITE PLAN REVIEW

Case #: #SP14.04 Final Site Plan
Zoning District: B-4 Regional Commercial District
Adjacent Zoning: B-4 (west front), R-2 (west & north), R-3 (East), POSD (east line)
Parcel(s): 006-767-01
Variances: ZBA November 20, 2014: Increase parking to 92 spaces
Proposed Use: Goodwill Retail and Work Force Training Center

CONCEPT PLAN

On September 10, 2014, the Planning Commission reviewed the concept plan for Goodwill. At that time, discussion revolved around the following topics:

- Buffering for residential properties to the North and South was discussed.
- A deceleration lane may be required. **Loney stated that the store will be serviced using a fifth wheel truck, not a tractor trailer, therefore MDOT will not require a deceleration lane.**
- Traffic pattern issued may pose a problem with only one entry. **Mark Peters, also of Tower Pinkster, stated that MDOT will only allow one entry. All delivery truck traffic will stay west of the building upon entering and then exit using the same route. Retail store patrons will enter and park on either the west or south side of the building and exit the same way they entered. People in cars that will be dropping off donations will enter and go east to the designated drop off area and continue around the north side of the building to exit.**
- Items that are being dropped off will be visible to the road if left in the designated drop off area. Screening the donation doors from Michigan Ave could rectify this issue. **Peters responded that all drop-offs during business hours will immediately be taken inside to the storage space. Any afterhours drop-offs will be taken inside first thing the next business day.**
- There will be screening required in addition to the existing berm in the North West area of the parcel. **Loney stated that the berm will be landscaped. They are aware of screening requirements of either landscaping or fencing and plan to utilize the landscaping option.**
- Additional parking spaces (above the allowed space count of 72) will need to be presented with the Site Plan for approval or taken to the Zoning Board of Appeals with justification for the additional spaces. **Peters stated that they estimate the needed parking space count to be 100 due to the count of employees, customers, trainers, donors, and space for community program participants.**
- The drop off area will not be considered a drive-thru and will not require a Special Land Use.
- The detention pond is not a requirement and may present more issues with neighbors. Petitioner should consider all possible options to address drainage and runoff. **Loney stated that their civil engineer had not been able to address this job site before the conceptual was submitted. They will contact the city engineer and have it addressed before final site plan approval.**

FINAL PLAN

City staff has continued to meet and work with Goodwill representatives to formulate a plan that works for both parties. Staff received the final site plan for Goodwill (SP#14.04) on December 17, 2014. The plan has been through a number of revisions through the last few months. The final plan reflects a decrease in building size by approximately 1,170 square feet, increased parking lot landscaping, and an increase of 20 parking spaces (granted by ZBA on November 20, 2014).

The final plan also shows a 10' western edge parking setback. The ordinance requires a 30' side setback for the building envelope; this does not apply to parking areas (just to buildings). The parking is in compliance with the ordinance as shown by §156.323 (I) which states: "**Setbacks. No part of any off-street parking area shall be closer than ten feet to any street right-of-way line or the lot boundary of any residential, school, hospital, or other institutional use.**" Since the building is in conformance with setback requirements, as well as the parking area, no further variances are needed.

According to §156.391, Standards for Site Plan Approval, the Planning Commission shall consider the following standards during review:

(A) Adequacy of Information.

The information on the site plan being disseminated is the most current plan, is accurate, complete, and legible.

(B) Site Appearance and Preservation.

The only natural features or woodlands for this site, exist to the north as the south section of the lot has been developed for years. There are existing trees in the front and along the east lines most of which will have to be removed for site development purposes and/or due to the deteriorating condition. These areas have been re-designed along the guidelines of §156.304 Methods of Screening, §156.305 Screening of Residential Districts and Uses (to the west), §156.306 Interior Landscaping, and §156.307 Parking Lot Landscaping.

(C) Pedestrian Access.

There are proposed walkways around the building in logical locations.

(D) Vehicular Circulation.

The site has one drive onto West Michigan Avenue and the developer continues to work with MDOT on the specifics of ingress and egress onto the major road. Vehicular traffic is designed to be able to circle the building to access the drop-off point on the east or the parking behind or to the sides of the building.

(E) Parking and Loading.

The proposed parking spaces meet ordinance requirements at 9'x20', with the exception of the parking spaces to the west, which allow for 18' width according to §156.307 (C) Parking lot Landscaping which states, "A parking space overhang of two feet may be used to widen a perimeter landscaped area and reduce the length of a parking space by two feet less than required by this chapter." The site received a variance in November to have 92 parking spaces.

(F) Building Composition.

The building is shown to have a front retail entrance and a drop-off window to the east. The northern portion of the building will hold the entrance to the work force training center.

(G) Screening.

Screening, in accordance with 156.304 (E) has been shown along the residential border to the west, northwest corner and northeast corner. The ordinance states:

Evergreen screen or buffer strip. A buffer strip may be required where a use abuts residential or other less intensive uses. The intent of the buffer strip is to have a minimum five foot high obscuring area alongside or

rear lot lines, and an appropriate landscaped strip along front lot lines. A buffer strip shall meet the following requirements:

- (1) Minimum width of ten feet.
- (2) This method shall consist of closely spaced evergreen trees with year-round screening characteristics. Such trees shall be planted a maximum of 15 feet apart on-center.
- (3) The buffer planting area shall contain grass or other suitable living groundcover.
- (4) A mixture of the following species or alternatives approved by the Planning Commission shall be incorporated into the evergreen screen or buffer strip:

COMMON NAME	BOTANICAL NAME	PLANT SPACING (on-center in feet)
Emerald Green Arbovitae	Thuja o. "Emerald Green"	5
Sea Green Juniper	Jumiperus c. "Sea Green"	5
Spartan Juniper	Jumiperus c. "Spartan"	5
Black Hills Spruce	Picea g. "Densata"	20
Norway Spruce	Picea abies	20
Serbian Spruce	Picea Omorica	15
White Fir	Abies Concolor	15
White Pine	Pinus Strobes	20

(5) Street trees. On every site involving new development or redevelopment, deciduous street trees shall be provided along the fringe of the street right-of-way in conformance with § [99.06](#) of this code of ordinances.

(H) Exterior Lighting.

An illumination plan showing 1 foot candle or less at lot lines has been included with the plans. The height of light poles on the property is 20 feet and in conformance with ordinance regulations.

(I) Impact upon Public Services.

City utility staff feel that utility plans and loads for this site will be manageable.

GOODWILL - MARSHALL

Goodwill Industries of Central Michigan's Heartland

Battle Creek, Michigan

SITE PLAN APPROVAL

DATE

DECEMBER 16, 2014

PROJECT TITLE

GOODWILL -
MARSHALL

GOODWILL
INDUSTRIES OF
CENTRAL
MICHIGAN'S
HEARTLAND

Battle Creek,
Michigan

DESIGN TEAM

ARCHITECT/ENGINEER

TowerPinkster
ARCHITECTS | ENGINEERS

242 EAST KALAMAZOO
KALAMAZOO, MICHIGAN 49007
PHONE: 269.343.6133
FAX: 269.343.6633

CIVIL CONSULTANT

**DRIESENGA &
ASSOCIATES, INC.**
Engineering • Surveying • Testing

552 SOUTH 8TH STREET
KALAMAZOO, MICHIGAN 49009
PHONE: 269.544.1455
FAX: 269.353.7836

DRAWING INDEX

GENERAL

G 001 COVER SHEET

CIVIL

V 101 EXISTING TOPOGRAPHIC PLAN
CD 101 DEMOLITION PLAN
C 101 SITE PLAN
C 102 UTILITIES
C 103 GRADING AND STORM SEWER PLAN
C 104 EROSION CONTROL
C 501 DETAILS

LANDSCAPE

L 101 LANDSCAPE PLAN

ARCHITECTURAL

A 101 FLOOR PLAN AND PERSPECTIVE - PRELIMINARY
A 301 ELEVATIONS - PRELIMINARY

ELECTRICAL

ES 101 ELECTRICAL SITE PLAN

ISSUED FOR

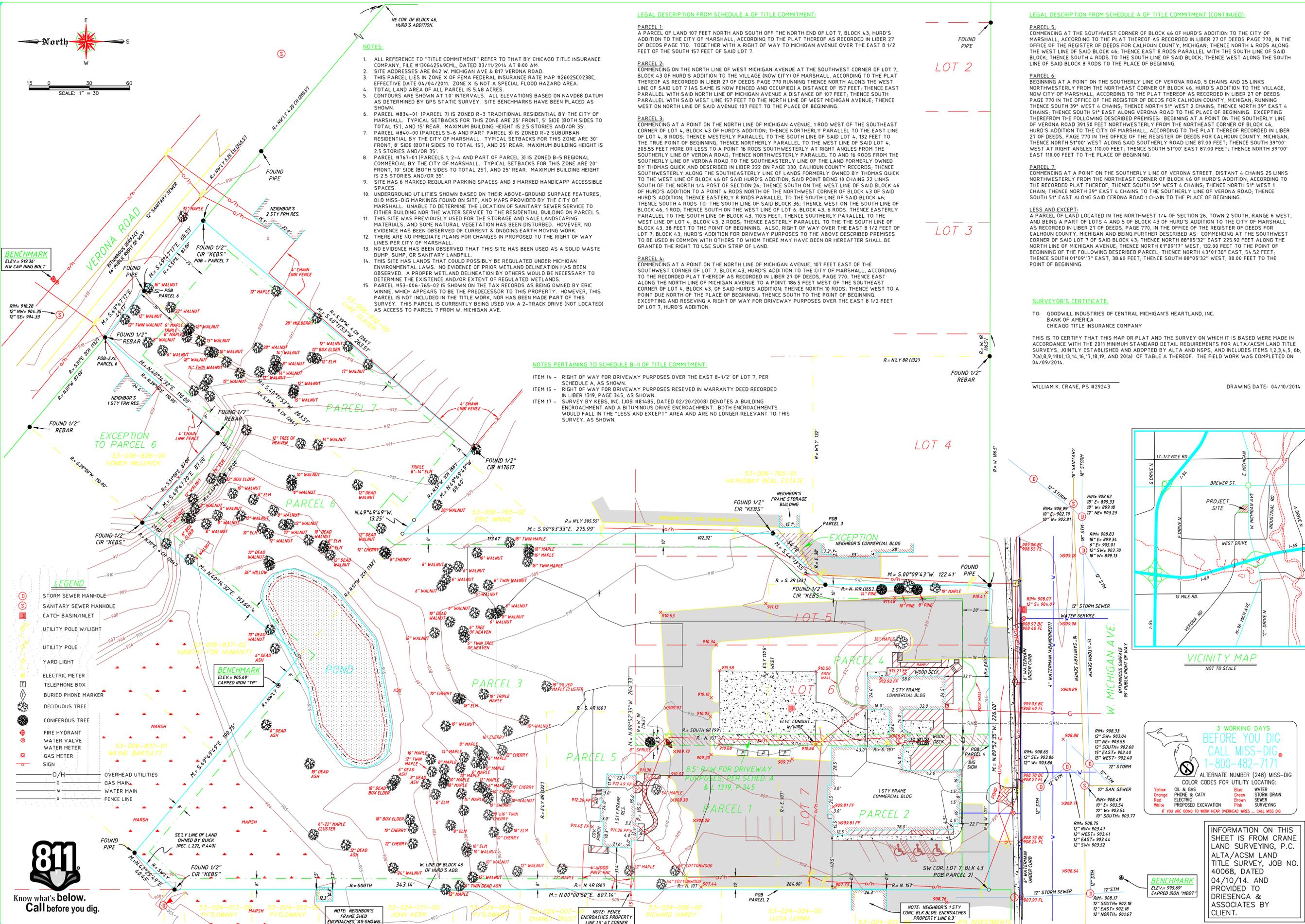
DATE

ISSUED FOR

DATE

SHEET TITLE

COVER SHEET



TowerPinkster
Making it Real

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towerpinkster.com
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DATE
DECEMBER 16, 2014

PROJECT TITLE
MARSHALL GOODWILL STORE

SHEET NUMBER
MARSHALL, MICHIGAN

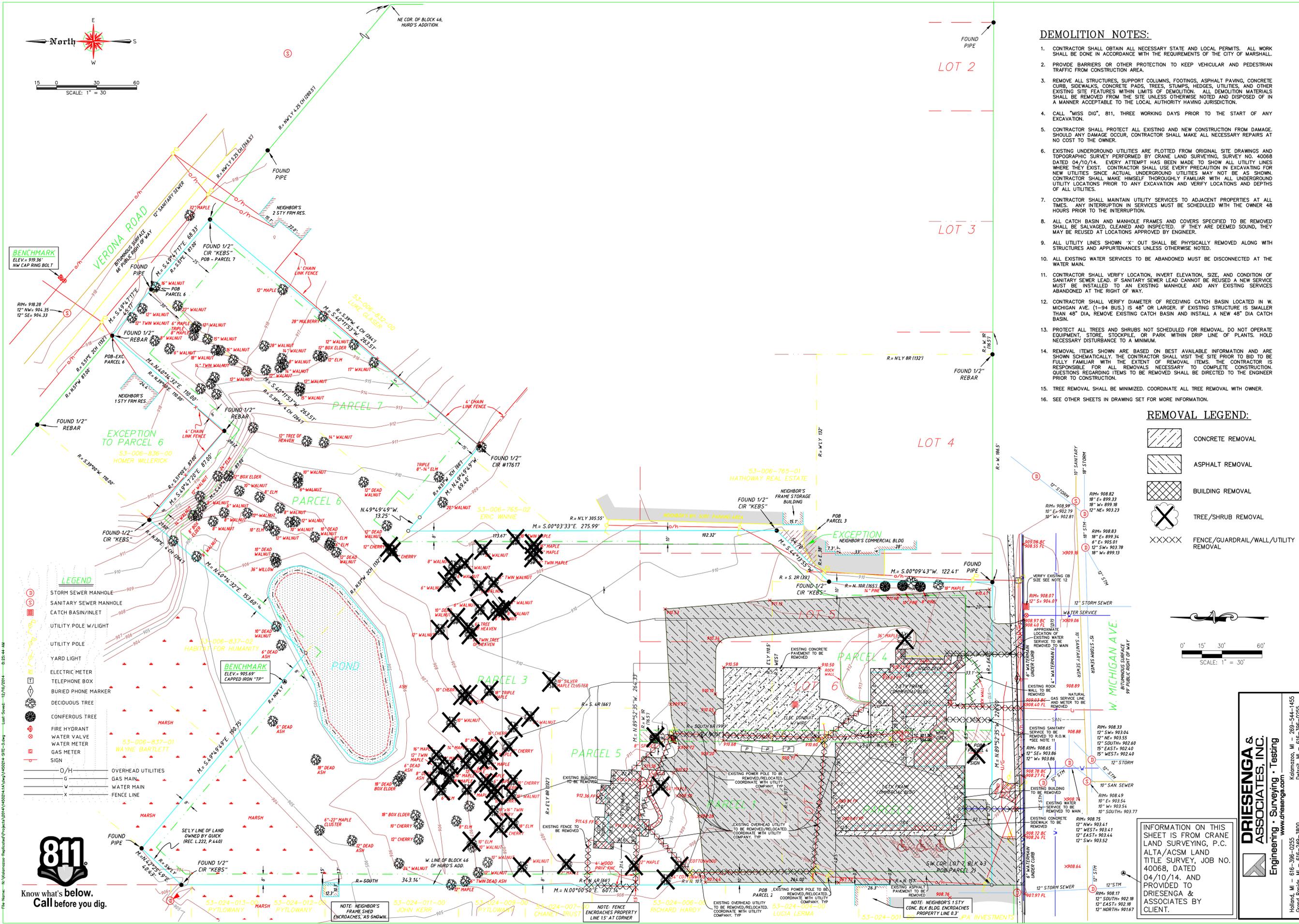
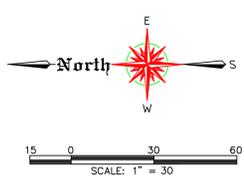
ISSUED FOR: _____ DATE: 11-30-2014
PROGRESS: XXXXXXXX 00 XXXXXXXX 00, 0000

SHEET TITLE
EXISTING TOPOGRAPHIC PLAN

SHEET NUMBER
V 101
00-000.00

File Name: N:\Yoncoskie\Revised\Project\001\1405214 (14)dwg\1405214_SHE-3.dwg
Date Plotted: 12/16/2014 8:28:44 AM
Lent Show: 12/16/2014
Plot Scale: 1" = 30'



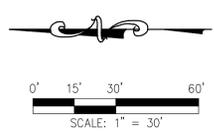


DEMOLITION NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MARSHALL.
2. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC FROM CONSTRUCTION AREA.
3. REMOVE ALL STRUCTURES, SUPPORT COLUMNS, FOOTINGS, ASPHALT PAVING, CONCRETE CURB, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION.
4. CALL "MISS DIG", 811, THREE WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
5. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
6. EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND TOPOGRAPHIC SURVEY PERFORMED BY CRANE LAND SURVEYING, SURVEY NO. 40068 DATED 04/10/14. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
7. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. ANY INTERRUPTION IN SERVICES MUST BE SCHEDULED WITH THE OWNER 48 HOURS PRIOR TO THE INTERRUPTION.
8. ALL CATCH BASIN AND MANHOLE FRAMES AND COVERS SPECIFIED TO BE REMOVED SHALL BE SALVAGED, CLEANED AND INSPECTED. IF THEY ARE DEEMED SOUND, THEY MAY BE REUSED AT LOCATIONS APPROVED BY ENGINEER.
9. ALL UTILITY LINES SHOWN "X" OUT SHALL BE PHYSICALLY REMOVED ALONG WITH STRUCTURES AND APPURTENANCES UNLESS OTHERWISE NOTED.
10. ALL EXISTING WATER SERVICES TO BE ABANDONED MUST BE DISCONNECTED AT THE WATER MAIN.
11. CONTRACTOR SHALL VERIFY LOCATION, INVERT ELEVATION, SIZE, AND CONDITION OF SANITARY SEWER LEAD. IF SANITARY SEWER LEAD CANNOT BE REUSED A NEW SERVICE MUST BE INSTALLED TO AN EXISTING MANHOLE AND ANY EXISTING SERVICES ABANDONED AT THE RIGHT OF WAY.
12. CONTRACTOR SHALL VERIFY DIAMETER OF RECEIVING CATCH BASIN LOCATED IN W. MICHIGAN AVE. (1-94 BUS) IS 48" OR LARGER. IF EXISTING STRUCTURE IS SMALLER THAN 48" DIA. REMOVE EXISTING CATCH BASIN AND INSTALL A NEW 48" DIA CATCH BASIN.
13. PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE OF PLANTS. HOLD NECESSARY DISTURBANCE TO A MINIMUM.
14. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
15. TREE REMOVAL SHALL BE MINIMIZED. COORDINATE ALL TREE REMOVAL WITH OWNER.
16. SEE OTHER SHEETS IN DRAWING SET FOR MORE INFORMATION.

REMOVAL LEGEND:

- CONCRETE REMOVAL
- ASPHALT REMOVAL
- BUILDING REMOVAL
- TREE/SHRUB REMOVAL
- FENCE/GUARDRAIL/WALL/UTILITY REMOVAL



- LEGEND**
- STORM SEWER MANHOLE
 - SANITARY SEWER MANHOLE
 - CATCH BASIN/INLET
 - UTILITY POLE W/LIGHT
 - UTILITY POLE
 - YARD LIGHT
 - ELECTRIC METER
 - TELEPHONE BOX
 - BURIED PHONE MARKER
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - GAS METER
 - SIGN
 - OVERHEAD UTILITIES
 - GAS MAIN
 - WATER MAIN
 - FENCE LINE



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INFORMATION ON THIS SHEET IS FROM CRANE LAND SURVEYING, P.C. ALTA/ACSM LAND TITLE SURVEY, JOB NO. 40068, DATED 04/10/14, AND PROVIDED TO DRIESENGA & ASSOCIATES BY CLIENT.



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DATE
DECEMBER 16, 2014

PROJECT TITLE
**MARSHALL
 GOODWILL
 STORE**

GOODWILL
 INDUSTRIES
 SHEET NUMBER
**MARSHALL,
 MICHIGAN**

ISSUED FOR
 XXXXXXXX 00
 DATE
 11-10-2014

SHEET TITLE
**DEMOLITION
 PLAN**

SHEET NUMBER
CD 101
 00-000.00

DATE

DECEMBER 16, 2014

PROJECT TITLE

**MARSHALL
GOODWILL
STORE**

**GOODWILL
INDUSTRIES**

SHEET NUMBER

**MARSHALL,
MICHIGAN**

ISSUED FOR DATE

PROCESS 11-18-2014

XXXXXXXXXX 00 XXXXXXXXXXXX 00, 0000

SHEET TITLE

SITE PLAN

SHEET NUMBER

C 101
00-000.00

SITE NOTES

- ZONING REQUIREMENTS:**
CURRENT ZONING B-4 & R-2 & R-3
ZONING OF ABUTTING PARCELS B-4 & R-2 & R-3 & POSD
- SETBACKS (B-4):**
FRONT YARD 20 FT
SIDE YARD 10 FT (LEAST ONE) 25 FT (TOTAL OF TWO)
*ALL SIDE YARDS ABUTTING RESIDENTIALLY ZONED LAND SHALL HAVE A MINIMUM DISTANCE OF TWICE THE ONE YARD REQUIREMENT
- REAR YARD 25 FT**
- SETBACKS (R-2):**
FRONT YARD 30 FT
SIDE YARD 8 FT (LEAST ONE) 15 FT (TOTAL OF TWO)
REAR YARD 25 FT
- SETBACKS (R-3):**
FRONT YARD 25 FT
SIDE YARD 5 FT (LEAST ONE) 15 FT (TOTAL OF TWO)
REAR YARD 15 FT
- SUMMARY OF PARKING:**
MAX NUMBER OF SPACES PERMITTED = 72
NUMBER OF SPACES PROVIDED = 92 (VARIANCE REQUESTED)
- SUMMARY OF LAND:**
TOTAL LOT SIZE = 18233 SFT
PROPOSED BUILDING SIZE = 15481 SFT
LOT COVERAGE = 9%
MAX BUILDING HEIGHT = 1 STORY
APPROXIMATE STORM = 12637 CFT
WATER STORAGE REQUIREMENT

GENERAL NOTES:

- UTILITIES SHOWN (IF ANY) ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG CALL MISS DIG AT 1-800-482-7171

LEGEND

EXISTING	PROPOSED
BENCHMARK	BM #1
STORM SEWER MANHOLE	SM #1
CATCH BASIN	CB
SANITARY SEWER MANHOLE	SSM #1
CLEANOUT	CO
WELL HEAD	WH
FIRE HYDRANT	FH
SPRINKLER CONTROL VALVE	SCV
SPRINKLER HEAD	SH
VALVE (WATER & GAS)	WV / GV
GAS METER	GM
UTILITY RISERS	URS
UTILITY POLE	UP
LIGHT POLE	LP
GUY ANCHOR	GA
TRANSFORMER	TR
HAND HOLE (ELECTRIC)	HH
ELECTRIC METER	EM
GROUND MOUNTED LIGHT	GL
SIGN	S
SOIL BORING	SB #1
BOLLARD POST	BP
GATE	G
"MISS DIG" FLAG - CATV	CD
"MISS DIG" FLAG - ELECTRICAL	ED
"MISS DIG" FLAG - FIBER OPTIC	FD
"MISS DIG" FLAG - GAS	GD
"MISS DIG" FLAG - SANITARY	SD
"MISS DIG" FLAG - STORM	ST
"MISS DIG" FLAG - TELEPHONE	TD
"MISS DIG" FLAG - WATER	WD
FENCE LINE	FX
ELECTRIC	CHU
TELEPHONE	TEL
FIBER OPTIC	FO
GAS LINE	GAS
EXISTING WATER LINE	W
PROPOSED WATER LINE	W
EXISTING STORM SEWER	ST
PROPOSED STORM SEWER	ST
EXISTING SANITARY SEWER	SAN
PROPOSED SANITARY SEWER	SAN
BITUMINOUS SURFACE	BS
CONCRETE SURFACE	CS
GRAVEL SURFACE	GS
CONIFEROUS TREE	CT
DECIDUOUS TREE	DT
ORNAMENTAL BUSH	OB



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Grand Rapids, MI - 616-249-3800

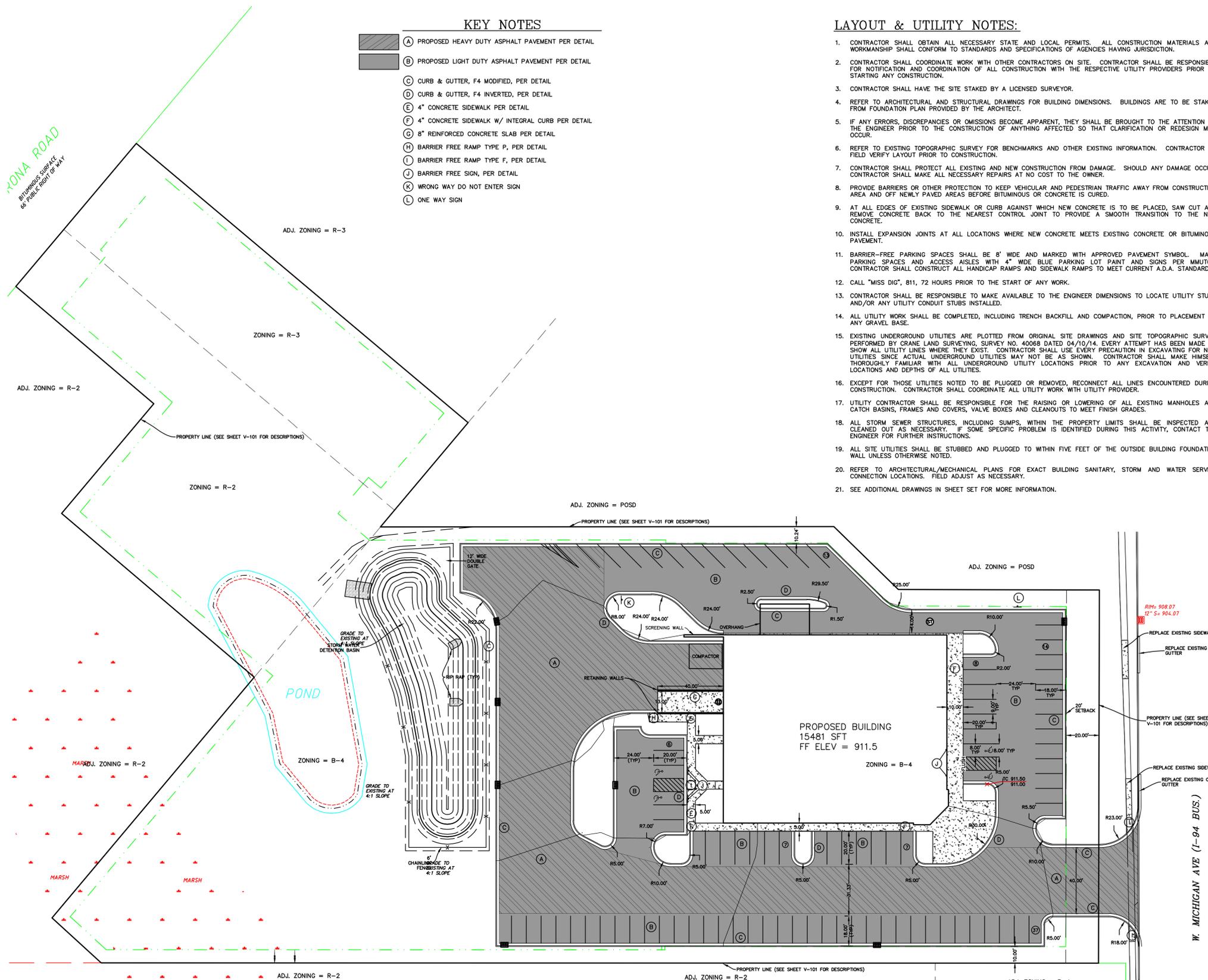
Kalamazoo, MI - 269-544-1455
Detroit, MI - 616-396-0255

LAYOUT & UTILITY NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF AGENCIES HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL HAVE THE SITE STAKED BY A LICENSED SURVEYOR.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS. BUILDINGS ARE TO BE STAKED FROM FOUNDATION PLAN PROVIDED BY THE ARCHITECT.
- IF ANY ERRORS, DISCREPANCIES OR OMISSIONS BECOME APPARENT, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION. CONTRACTOR TO FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS BEFORE BITUMINOUS OR CONCRETE IS CURED.
- AT ALL EDGES OF EXISTING SIDEWALK OR CURB AGAINST WHICH NEW CONCRETE IS TO BE PLACED, SAW CUT AND REMOVE CONCRETE BACK TO THE NEAREST CONTROL JOINT TO PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.
- BARRIER-FREE PARKING SPACES SHALL BE 8' WIDE AND MARKED WITH APPROVED PAVEMENT SYMBOL. MARK PARKING SPACES AND ACCESS AISLES WITH 4" WIDE BLUE PARKING LOT PAINT AND SIGNS PER MMUTCD. CONTRACTOR SHALL CONSTRUCT ALL HANDICAP RAMPS AND SIDEWALK RAMPS TO MEET CURRENT A.D.A. STANDARDS.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE AVAILABLE TO THE ENGINEER DIMENSIONS TO LOCATE UTILITY STUBS AND/OR ANY UTILITY CONDUIT STUBS INSTALLED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF ANY GRAVEL BASE.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY PERFORMED BY CRANE LAND SURVEYING, SURVEY NO. 40068 DATED 04/10/14. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLUGGED OR REMOVED, RECONNECT ALL LINES ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDER.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE RAISING OR LOWERING OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEANOUTS TO MEET FINISH GRADES.
- ALL STORM SEWER STRUCTURES, INCLUDING SUMPS, WITHIN THE PROPERTY LIMITS SHALL BE INSPECTED AND CLEANED OUT AS NECESSARY. IF SOME SPECIFIC PROBLEM IS IDENTIFIED DURING THIS ACTIVITY, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING SANITARY, STORM AND WATER SERVICE CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- SEE ADDITIONAL DRAWINGS IN SHEET SET FOR MORE INFORMATION.

KEY NOTES

- (A) PROPOSED HEAVY DUTY ASPHALT PAVEMENT PER DETAIL
- (B) PROPOSED LIGHT DUTY ASPHALT PAVEMENT PER DETAIL
- (C) CURB & GUTTER, F4 MODIFIED, PER DETAIL
- (D) CURB & GUTTER, F4 INVERTED, PER DETAIL
- (E) 4" CONCRETE SIDEWALK PER DETAIL
- (F) 4" CONCRETE SIDEWALK W/ INTEGRAL CURB PER DETAIL
- (G) 8" REINFORCED CONCRETE SLAB PER DETAIL
- (H) BARRIER FREE RAMP TYPE P, PER DETAIL
- (I) BARRIER FREE RAMP TYPE F, PER DETAIL
- (J) BARRIER FREE SIGN, PER DETAIL
- (K) WRONG WAY DO NOT ENTER SIGN
- (L) ONE WAY SIGN



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DATE
DECEMBER 16, 2014

PROJECT TITLE
**MARSHALL
GOODWILL
STORE**

**GOODWILL
INDUSTRIES**
SHEET NUMBER
**MARSHALL,
MICHIGAN**

ISSUED FOR DATE

PROGRESS 11-18-2014

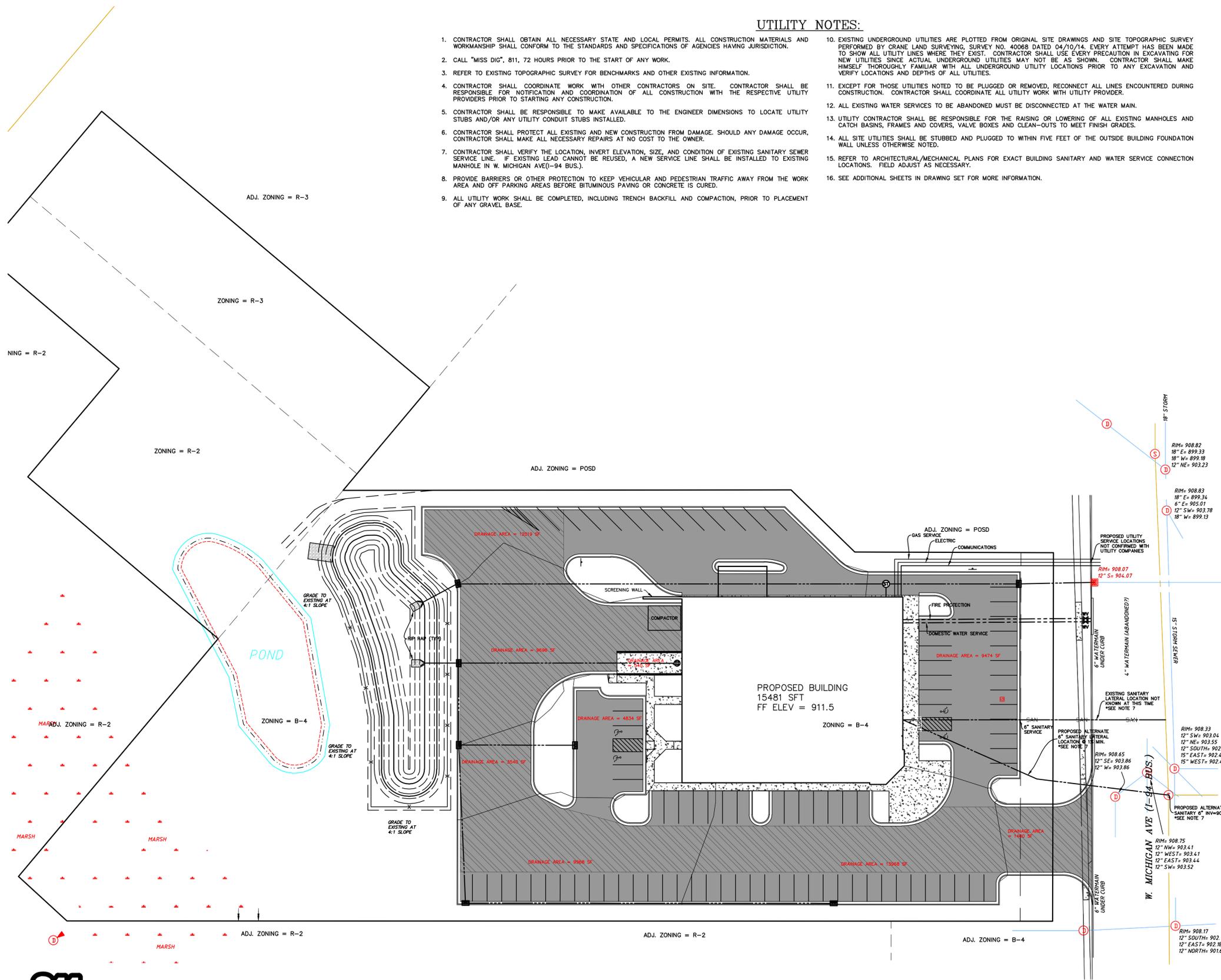
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SHEET TITLE
UTILITIES

SHEET NUMBER
C 102
00-000.00

UTILITY NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AGENCIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY WORK.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION.
- CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE AVAILABLE TO THE ENGINEER DIMENSIONS TO LOCATE UTILITY STUBS AND/OR ANY UTILITY CONDUIT STUBS INSTALLED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY THE LOCATION, INVERT ELEVATION, SIZE, AND CONDITION OF EXISTING SANITARY SEWER SERVICE LINE. IF EXISTING LEAD CANNOT BE REUSED, A NEW SERVICE LINE SHALL BE INSTALLED TO EXISTING MANHOLE IN W. MICHIGAN AVE(1-94 BUS.).
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM THE WORK AREA AND OFF PARKING AREAS BEFORE BITUMINOUS PAVING OR CONCRETE IS CURED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF ANY GRAVEL BASE.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY PERFORMED BY CRANE LAND SURVEYING, SURVEY NO. 40068 DATED 04/10/14. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLUGGED OR REMOVED, RECONNECT ALL LINES ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDER.
- ALL EXISTING WATER SERVICES TO BE ABANDONED MUST BE DISCONNECTED AT THE WATER MAIN.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE RAISING OR LOWERING OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEAN-OUTS TO MEET FINISH GRADES.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING SANITARY AND WATER SERVICE CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.



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DATE

DECEMBER 16, 2014

PROJECT TITLE

**MARSHALL
GOODWILL
STORE**

**GOODWILL
INDUSTRIES**

SHEET NUMBER

**MARSHALL,
MICHIGAN**

ISSUED FOR

PROCESS

XXXXXXXXXX 00 XXXXXXXXXXXX 00, 0000

SHEET TITLE

**GRADING AND
STORM SEWER
PLAN**

SHEET NUMBER

C 103
00-000.00

GRADING & STORM SEWER NOTES:

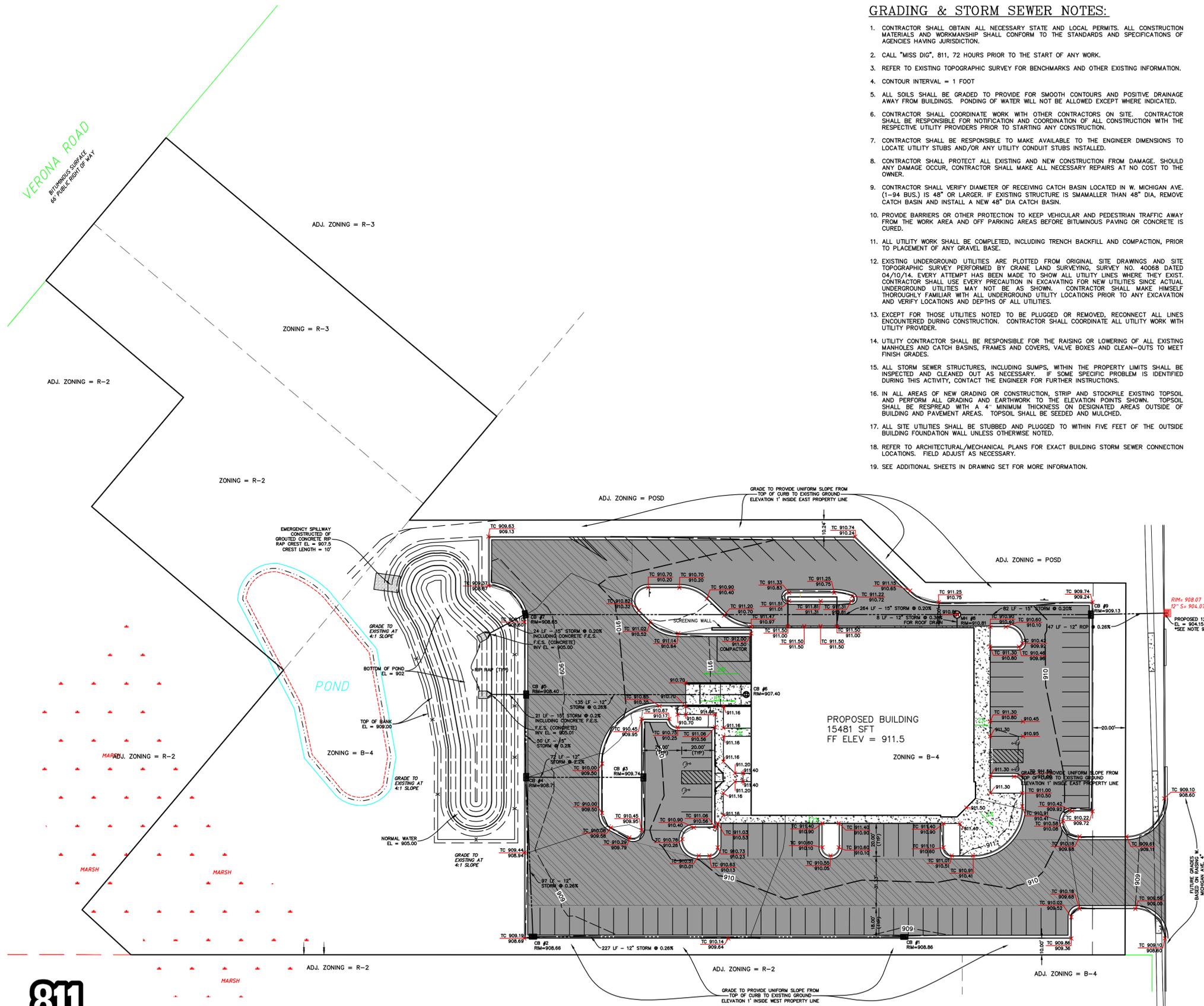
- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AGENCIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY WORK.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION.
- CONTOUR INTERVAL = 1 FOOT
- ALL SOILS SHALL BE GRADED TO PROVIDE FOR SMOOTH CONTOURS AND POSITIVE DRAINAGE AWAY FROM BUILDINGS. PONDING OF WATER WILL NOT BE ALLOWED EXCEPT WHERE INDICATED.
- CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE AVAILABLE TO THE ENGINEER DIMENSIONS TO LOCATE UTILITY STUBS AND/OR ANY UTILITY CONDUIT STUBS INSTALLED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY DIAMETER OF RECEIVING CATCH BASIN LOCATED IN W. MICHIGAN AVE. (1-94 BUS.) IS 48" OR LARGER. IF EXISTING STRUCTURE IS SMALLER THAN 48" DIA, REMOVE CATCH BASIN AND INSTALL A NEW 48" DIA CATCH BASIN.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM THE WORK AREA AND OFF PARKING AREAS BEFORE BITUMINOUS PAVING OR CONCRETE IS CURED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF ANY GRAVEL BASE.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY PERFORMED BY CRANE LAND SURVEYING, SURVEY NO. 40066 DATED 04/10/14. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLUGGED OR REMOVED, RECONNECT ALL LINES ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDER.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE RAISING OR LOWERING OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEAN-OUTS TO MEET FINISH GRADES.
- ALL STORM SEWER STRUCTURES, INCLUDING SUMPS, WITHIN THE PROPERTY LIMITS SHALL BE INSPECTED AND CLEANED OUT AS NECESSARY. IF SOME SPECIFIC PROBLEM IS IDENTIFIED DURING THIS ACTIVITY, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.
- IN ALL AREAS OF NEW GRADING OR CONSTRUCTION, STRIP AND STOCKPILE EXISTING TOPSOIL AND PERFORM ALL GRADING AND EARTHWORK TO THE ELEVATION POINTS SHOWN. TOPSOIL SHALL BE RESPREAD WITH A 4" MINIMUM THICKNESS ON DESIGNATED AREAS OUTSIDE OF BUILDING AND PAVEMENT AREAS. TOPSOIL SHALL BE SEEDED AND MULCHED.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE FOUNDATION WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING STORM SEWER CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

STORM STRUCTURE DATA

- CB 1 - RIM = 908.86
24"Ø PRECAST STRUCTURE
INV (N) 12' STORM=906.00
- CB 2 - RIM = 908.66
48"Ø PRECAST STRUCTURE
INV (E) 12' STORM=905.41
INV (S) 12' STORM=905.41
- CB 3 - RIM = 909.74
24"Ø PRECAST STRUCTURE
INV (N) 12' STORM=906.74
- CB 4 - RIM = 908.71
48"Ø PRECAST STRUCTURE
INV (E) 15' STORM=905.16
INV (S) 12' STORM=905.16
INV (W) 12' STORM=905.16
- CB 5 - RIM = 908.40
48"Ø PRECAST STRUCTURE
INV (N) 15' STORM=905.05
INV (W) 15' STORM=905.05
INV (S) 12' STORM=905.05
- CB 6 - RIM = 907.4
24"Ø PRECAST STRUCTURE
INV (N) 12' STORM=905.40
- CB 7 - RIM = 908.65
48"Ø PRECAST STRUCTURE
INV (N) 15' STORM=904.95
INV (S) 15' STORM=904.95
- MH 8 - RIM = 910.81
48"Ø PRECAST STRUCTURE
INV (N) 15' STORM=904.43
INV (S) 15' STORM=904.43
INV (W) 12' STORM=905.0
- CB 9 - RIM = 909.13
48"Ø PRECAST STRUCTURE
INV (S) 12' RCP=904.27
INSTALL BULKHEAD IN 12" RCP
WITH 5'Ø SCHEDULE 80 PVC
PIPE 12" LONG IN BOTTOM OF
PIPE IN BULKHEAD (SEE
DETAIL)
INV (N) 15' STORM=904.27

STORM WATER DETENTION BASIN

- TOP OF BANK EL = 909.00
- EMERGENCY SPILLWAY CREST EL = 907.5
- 100 YR EVENT WATER EL = 907.50
STORAGE VOLUME = 12,837
- 50 YR EVENT WATER EL = 907.28
STORAGE VOLUME = 11,291 CF
- 25 YR EVENT WATER EL = 907.06
STORAGE VOLUME = 9,944 CF
- NORMAL WATER LEVEL = 905.00



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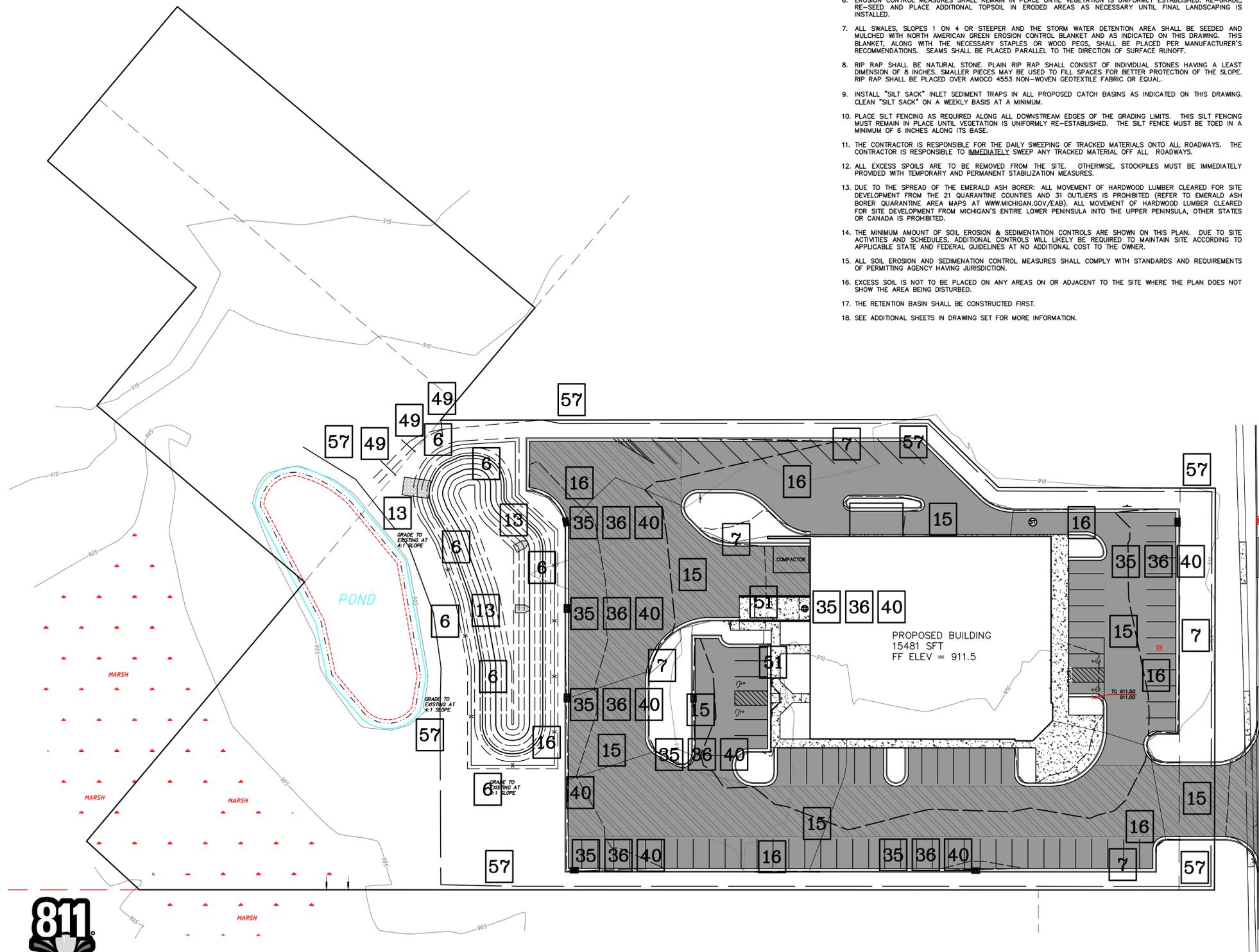
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CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE - FILL IN DATE											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SITE CLEARING AND INSTALL CONTROLS												
ROUGH GRADE SITE												
INSTALL LEACH BASIN												
BUILDING CONSTRUCTION												
FINAL GRADING												
PAVING												
SEEDING & STABILIZATION												

SESC NOTES:

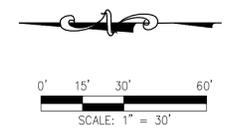
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT.
- PLACE EROSION CONTROL MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
- INSPECT AND MAINTAIN CHECK DAMS, SEDIMENT TRAPS, RIP RAP, SILT FENCING AND OTHER MEASURES DAILY AND AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
- TEMPORARY SEEDING FOR EROSION CONTROL CONSISTS OF THE FOLLOWING SEED MIX PLACED AT 5 LBS PER 1,000 SQUARE FEET:
50% PERENNIAL RYE GRASS
35% CREEPING RED FESCUE
15% KENTUCKY BLUEGRASS
SEED AND MULCH ALL DISTURBED AREAS.
- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
- ALL SWALES, SLOPES 1 ON 4 OR STEEPER AND THE STORM WATER DETENTION AREA SHALL BE SEEDED AND MULCHED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKET AND AS INDICATED ON THIS DRAWING. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.
- RIP RAP SHALL BE NATURAL STONE. PLAIN RIP RAP SHALL CONSIST OF INDIVIDUAL STONES HAVING A LEAST DIMENSION OF 8 INCHES. SMALLER PIECES MAY BE USED TO FILL SPACES FOR BETTER PROTECTION OF THE SLOPE. RIP RAP SHALL BE PLACED OVER AMOCO 4553 NON-WOVEN GEOTEXTILE FABRIC OR EQUAL.
- INSTALL "SILT SACK" INLET SEDIMENT TRAPS IN ALL PROPOSED CATCH BASINS AS INDICATED ON THIS DRAWING. CLEAN "SILT SACK" ON A WEEKLY BASIS AT A MINIMUM.
- PLACE SILT FENCING AS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS. THIS SILT FENCING MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS ONTO ALL ROADWAYS. THE CONTRACTOR IS RESPONSIBLE TO IMMEDIATELY SWEEP ANY TRACKED MATERIAL OFF ALL ROADWAYS.
- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE IMMEDIATELY PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- DUE TO THE SPREAD OF THE EMERALD ASH BORER: ALL MOVEMENT OF HARDWOOD LUMBER CLEARED FOR SITE DEVELOPMENT FROM THE 21 QUARANTINE COUNTIES AND 31 OUTLIERS IS PROHIBITED (REFER TO EMERALD ASH BORER QUARANTINE AREA MAPS AT WWW.MICHIGAN.GOV/EAB). ALL MOVEMENT OF HARDWOOD LUMBER CLEARED FOR SITE DEVELOPMENT FROM MICHIGAN'S ENTIRE LOWER PENINSULA INTO THE UPPER PENINSULA, OTHER STATES OR CANADA IS PROHIBITED.
- THE MINIMUM AMOUNT OF SOIL EROSION & SEDIMENTATION CONTROLS ARE SHOWN ON THIS PLAN. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL CONTROLS WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH STANDARDS AND REQUIREMENTS OF PERMITTING AGENCY HAVING JURISDICTION.
- EXCESS SOIL IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
- THE RETENTION BASIN SHALL BE CONSTRUCTED FIRST.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED
7	HYDRO-SEEDING	EFFECTIVE ON LARGE AREAS MULCH TACKING AGENT USED TO PROVIDE IMMEDIATE PROTECTION UNTIL GRASS IS ROOTED SHOULD INCLUDE PREPARED TOPSOIL BED
13	RIPRAP, RUBBLE, GABIONS	USED WHERE VEGETATION IS NOT EASILY ESTABLISHED EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS PERMITS RUNOFF TO INFILTRATE SOIL DISSIPATES ENERGY FLOW AT SYSTEM OUTLETS
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY IRREGULAR SURFACE WILL HELP SLOW VELOCITY
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACES COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF CONDUCTS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION USE CATCH BASINS TO COLLECT SEDIMENT
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATION RUNOFF MAY USE FILTER CLOTH OVER INLET
40	INLET SEDIMENT TRAP	EASY TO SHAPE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED
49	CHECK DAMS	REDUCES FLOW VELOCITY CATCHES SEDIMENT CAN BE CONSTRUCTED OF LOGS, STRAW, HAY, ROCK, LUMBER, LUMBER, MASONRY, OR SAND BAGS
51	RETAINING WALL	REDUCES GRADIENT WHERE SLOPES ARE EXTREMELY STEEP PERMITS RETENTION OF EXISTING VEGETATION, KEEPING SOIL STABLE IN CRITICAL AREAS MINIMIZES MAINTENANCE
57		USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.



35 36 40

N. MICHIGAN AVE (I-94 BUS.)



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 MICHIGAN

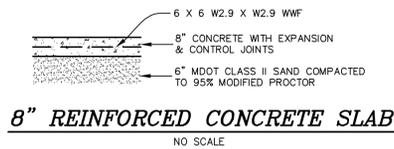
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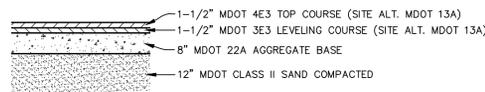
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811
 Know what's below.
 Call before you dig.



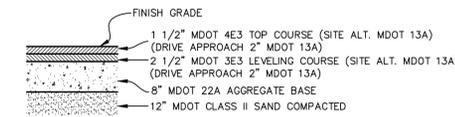
8" REINFORCED CONCRETE SLAB
NO SCALE

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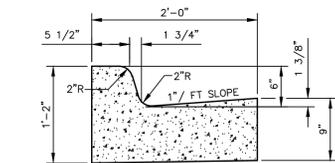
LIGHT DUTY BITUMINOUS PAVEMENT SECTION
NO SCALE

\\spr-srv-2\springlake_office\Spring Lake\Users\Gary Knapp\Desktop\Standard Details STB\DAI\Paving\Pavmt section - 3c+4c Bit.dwg 7/31/2006 2:58:42 PM EDT



HEAVY DUTY BITUMINOUS PAVEMENT SECTION
NO SCALE

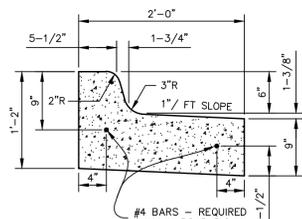
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- NOTES:
1. CONTRACTION JOINTS SHALL BE PLACED EVERY 10'.
2. PLACE EXPANSION JOINTS AT 350' MIN. AND ALL RADIUS POINTS.
3. CONCRETE SHALL CONFORM TO MDOT SPEC. 802.
4. MDOT DETAIL F4 HAS BEEN MODIFIED TO OMIT THE #4 REBARS.

CURB & GUTTER - MDOT DETAIL F4 MODIFIED
NO SCALE

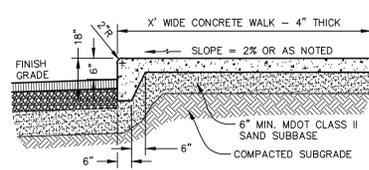
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- NOTES:
1. CONTRACTION JOINTS SHALL BE PLACED EVERY 10'.
2. PLACE EXPANSION JOINTS AT 350' MIN. AND ALL RADIUS POINTS.
3. CONCRETE SHALL CONFORM TO MDOT SPEC. 802.

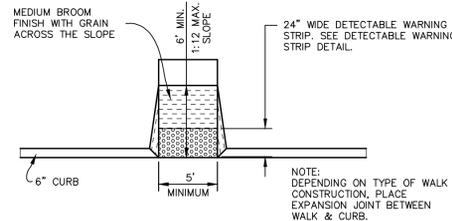
CURB & GUTTER - F4, INVERTED GUTTER
NO SCALE

\\spr-srv-2\springlake_office\Spring Lake\Users\Gary Knapp\Desktop\Standard Details STB\DAI\Curb & Gutter\curb & gutter - F4 inverted gutter.dwg 7/31/2006 10:50:58 AM EDT

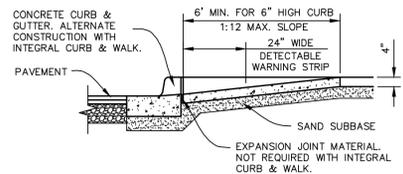


SIDEWALK WITH INTEGRAL CURB
NO SCALE

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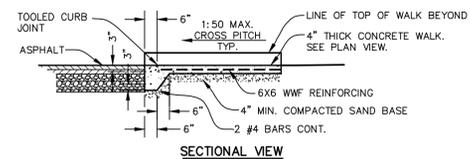
PLAN VIEW OF RAMP



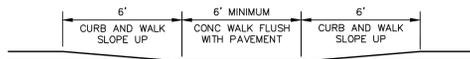
SECTION THROUGH RAMP

BARRIER FREE SIDEWALK RAMP
NO SCALE

N:\Spring Lake\Projects\2006\Standard Details STB\DAI\Sidewalk\BF Sidewalk ramp.dwg 8/8/2006 2:10:22 PM EDT

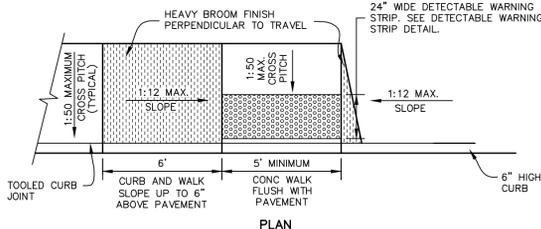


SECTIONAL VIEW



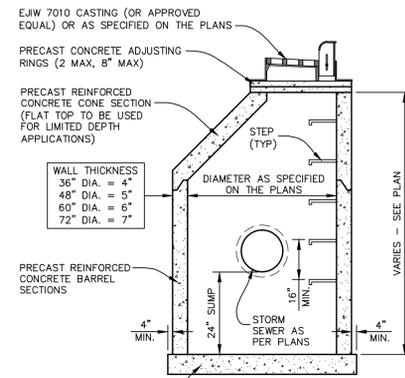
ELEVATION

NOTE:
SEE GRADING PLAN FOR SPOT GRADES AT RAMPS. MAINTAIN BOTTOM OF CONCRETE 12" MIN. BELOW FINISH GRADE.



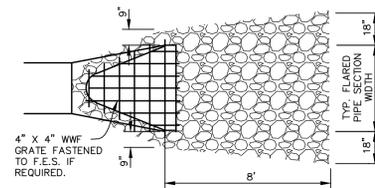
PLAN

BARRIER FREE SIDEWALK RAMP (TYPE P)
NO SCALE



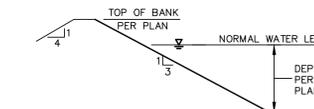
CATCH BASIN DETAIL
NO SCALE

C:\Local Files\Land Projects\3\standards\dwg\Catchbasin for curb - dia varie.dwg 2/1/2005 2:25:45 PM EST



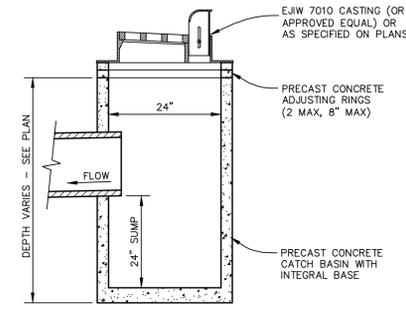
FLARED END SECTION DETAIL
NO SCALE

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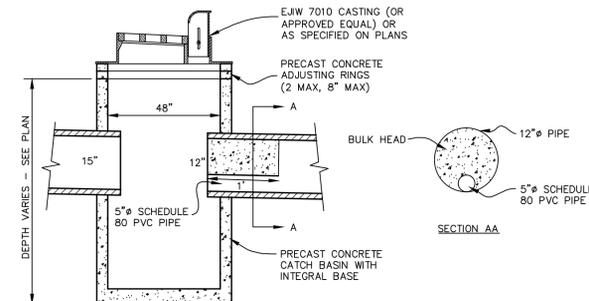
POND BANK SECTION
NO SCALE

N:\Standard Documents\Proposed Standards\Standard Details\DAI\Storm Detention\Pond bank section.dwg 2/16/2005 2:25:32 PM EST



24" DIAMETER CATCH BASIN DETAIL
NO SCALE

C:\Local Files\Land Projects\3\standards\dwg\Catchbasin for curb - 24 inch.dwg 2/1/2005 2:22:40 PM EST



CB #8 WITH BULK HEAD
NO SCALE

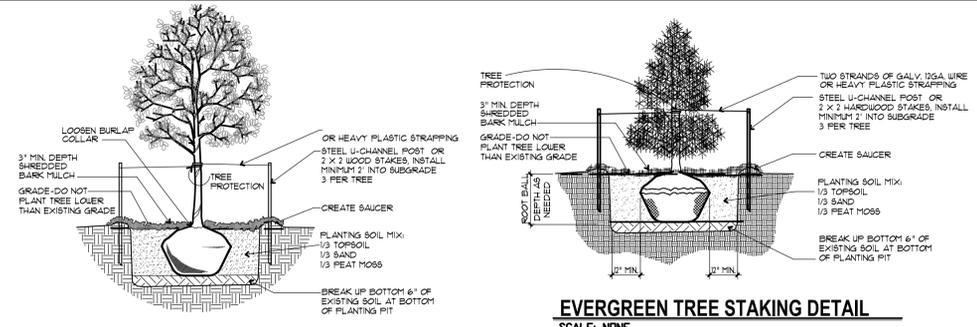
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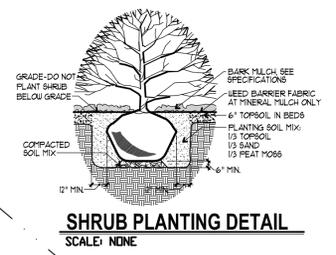
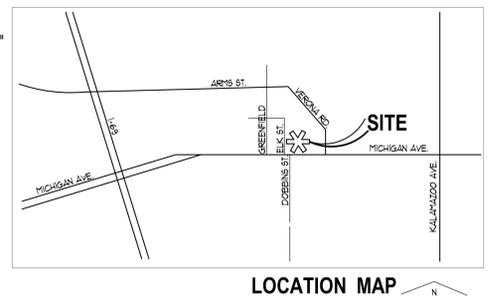
VAN ACCESSIBLE SPACES SHALL BE IDENTIFIED WITH "VAN ACCESSIBLE" PLACARD

BARRIER FREE SIGN
NO SCALE

DRIESENKA & ASSOCIATES, INC.
Engineering • Surveying • Testing
www.driesenga.com
Holland, MI - 616-396-0255
Grand Rapids, MI - 616-249-3800
Kalamazoo, MI - 269-544-1455
Detroit, MI - 616-396-0255

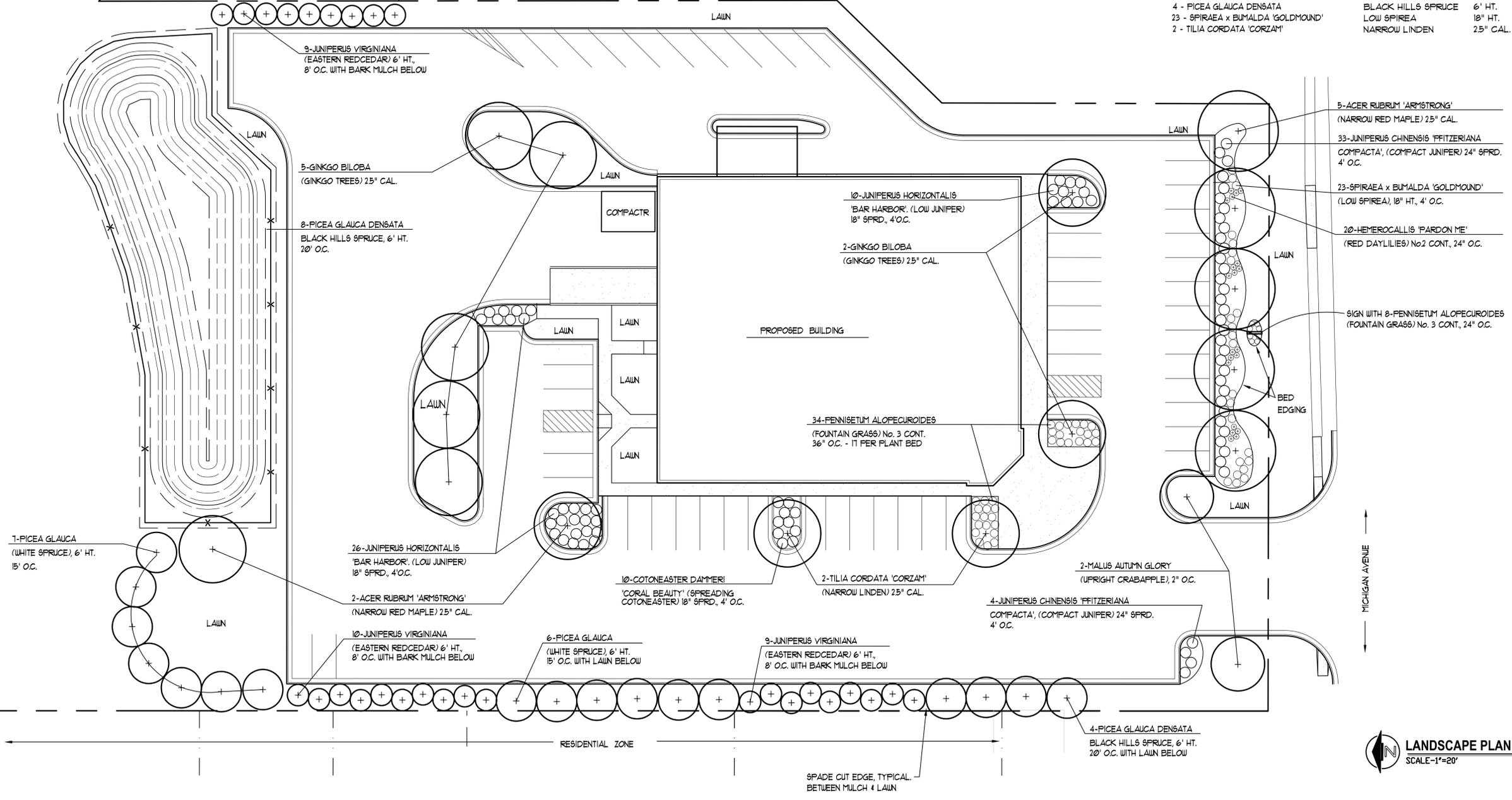


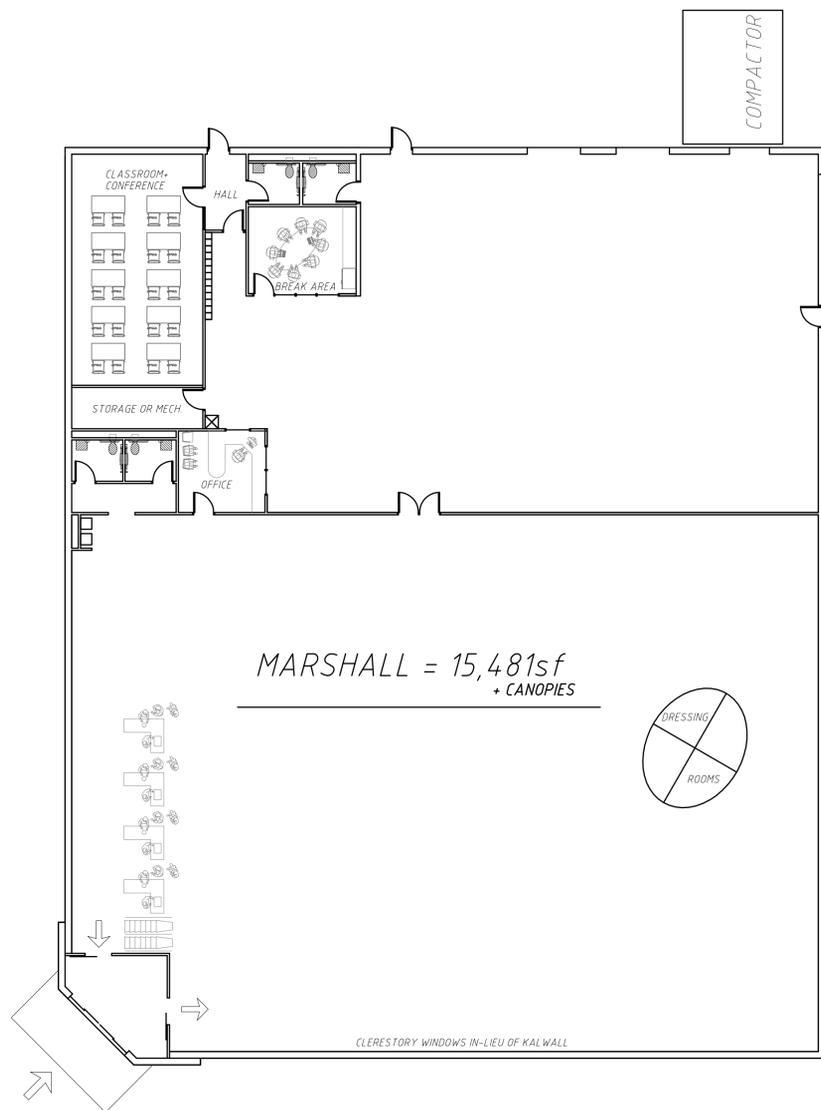
- NOTES:
- ALL PLANT BEDS TO HAVE SHREDDED CEDAR BARK MULCH AT 3" COMPACTED DEPTH.
 - ALL BED EDGING TO BE ALUMINUM LANDSCAPE BED EDGING
 - ALL TREES TO BE GUYED AND STAKED
 - PERENNIALS TO BE PLANTED IN PLANTING SOIL. SOIL TO BE 6" DEPTH
 - PLANTING SOIL TO BE 1/3 EACH OF PEAT, SAND AND TOPSOIL.



PLANT LIST

QTY / SCIENTIFIC NAME	COMMON NAME	SIZE
1 - ACER RUBRUM 'ARMSTRONG'	NARROW RED MAPLE	2.5" CAL.
10 - COTONEASTER DAMMERI 'CORAL BEAUTY'	SPREADING COTONEASTER	18" SPRD.
1 - GINKGO BILOBA	GINKGO TREE	2.5" CAL.
20 - HEMEROCALLIS 'PARDON ME'	RED DAYLILIES	No. 2 CONT.
31 - JUNIPERUS CHINENSIS 'FRITZERIANA COMPACTA'	COMPACT JUNIFER	24" SPRD.
46 - JUNIPERUS HORIZONTALIS 'BAR HARBOR'	LOW JUNIFER	18" SPRD.
31 - JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	6' HT.
2 - MALUS AUTUMN GLORY	UPRIGHT CRABAPPLE TREE	CAL.
42 - FENNETUM ALOPECUROIDES	FOUNTAIN GRASS	No. 3 CONT.
13 - PICEA GLAUCA	WHITE SPRUCE	6' HT.
4 - PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	6' HT.
23 - SPIRAEA x BUMALDA 'GOLDMOUND'	LOW SPIREA	18" HT.
2 - TILIA CORDATA 'CORZAM'	NARROW LINDEN	2.5" CAL.





FIRST FLOOR PLAN
SCALE: N.T.S.



PERSPECTIVE
SCALE: N.T.S.

DATE

DECEMBER 16, 2014

PROJECT TITLE

**GOODWILL -
MARSHALL**

**GOODWILL
INDUSTRIES OF
CENTRAL
MICHIGAN'S
HEARTLAND**

SHEET NUMBER

**Battle Creek,
Michigan**

ISSUED FOR

ISSUED FOR

XXXXXXXXXX 00

DATE

DATE

XXXXXXXXXX 00, 0000

SHEET TITLE

**FLOOR PLAN
AND
PERSPECTIVE -
PRELIMINARY**

SHEET NUMBER

A 101
14-126.00

DATE

DECEMBER 16, 2014

PROJECT TITLE

**GOODWILL -
MARSHALL**

**GOODWILL
INDUSTRIES OF
CENTRAL
MICHIGAN'S
HEARTLAND**

SHEET NUMBER

**Battle Creek,
Michigan**

ISSUED FOR DATE

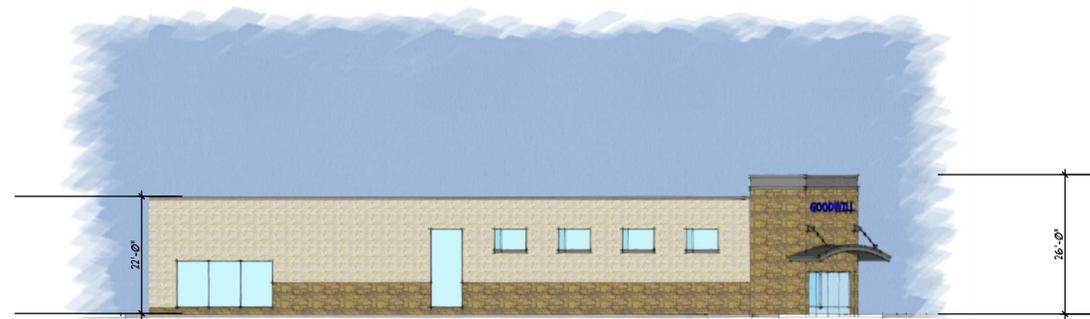
ISSUED FOR DATE
XXXXXXXXXX 00 XXXXXXXXXXXX 00, 0000

SHEET TITLE

**ELEVATIONS -
PRELIMINARY**

SHEET NUMBER

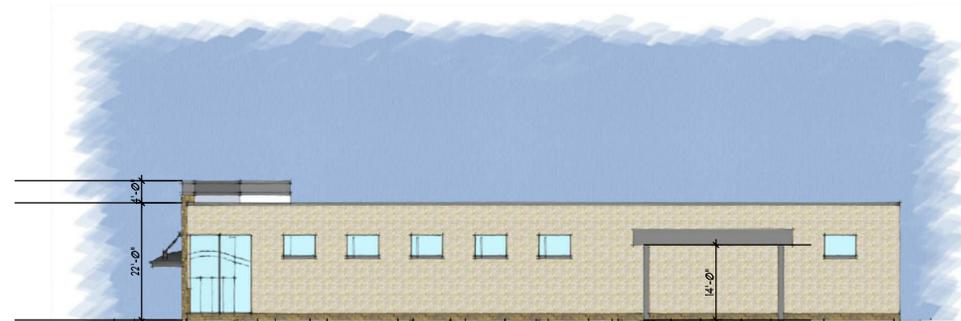
A 301
14-126.00



WEST ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



EAST ELEVATION
SCALE: 1/16" = 1'-0"

**Planning Commission,
Zoning Board of Appeals &
Joint Planning Commission
Annual Report
2014**

Planning Commission & Zoning Board of Appeals Annual Report 2014

The Planning Commission

Matt Davis, 2014 Chairman	December 2009-Present
Tim Banfield, 2014 Vice Chairman	September 2000-Present
Susan Collins	January 2005- Present
Julie Burke Smith	December 2009-Present
Matt Rodgers	May 9, 2014-Present
Jeff Goodman	October 2013-November 2014
Lisa McNiff	October 2013-Present
Lynne Meservey	November 2011-Present
Jim Zuck	May 2012-Present

Jody Mankerian, Council Liaison

Natalie Dean, Director of Community Services

Colleen Webb, Receptionist (January 2014-June 2014)

Lisa Huepenbecker, Building Department Coordinator/Receptionist (July 2014-present)

Planning Commission & Zoning Board of Appeals Annual Report 2014

The Zoning Board of Appeals

Kelly Feneley, 2014 Chair	February 2013-Present
Dave DeGraw, 2014 Vice-Chair	December 2007-Present
Dean Beach, Alternate	February 2013-Present
Russ Byrne	August 2009-Present
Mike Galloway	February 2013-Present
Jeff Karns	February 2013-Present

Dave Revore, Council Liaison

Natalie Dean, Director of Community Services

Colleen Webb, Receptionist (January 2014-June 2014)

Lisa Huepenbecker, Building Department Coordinator/Receptionist (July 2014-present)

Planning Commission & Zoning Board of Appeals Annual Report 2014

The Joint Planning Commission

City Members:

Matt Davis, Chair	1 st Term-Expires November 2015
Tim Banfield	1 st Term-Expires November 2017
Julie Burke Smith	1 st Term-Expires November 2016
Lynne Meservey, Alternate	1 st Term-Expires November 2016

Township Members:

Paul Kiessling, Vice Chair	1 st Term-Expires December 2015
Charles Kleinschmidt	1 st Term-Resigned April 2014
Robert Lyng	1 st Term-Expires December 2016
Phyllis Gresly, Alternate	1 st Term-Expires December 2014

Susan George, Township Zoning Administrator

Natalie Dean, City Director of Community Services

Colleen Webb, Receptionist (January 2014-June 2014)

Lisa Huepenbecker, Building Department Coordinator/Receptionist (July 2014-present)

Planning Commission & Zoning Board of Appeals Annual Report 2014



	Planning Commission Activities		
Rezoning	Site Plan		Special Land Use
RZ14.01 842 W. Michigan Goodwill	SP13.02 Oaklawn Hospital North Parking East Prospect		SLU 13.02 (A) Andrew Merrild 414 W Mansion
	SP14.01 Marshall Fire Station 845 E. Michigan Ave.		
	SP14.01 (A) Marshall Fire Station 1201 Arms		
	SP14.02 Grand Vista Assisted Living Center 208 Winston Court		
	SP14.03 Dr. Vandermeulen (addition) 207 Winston Drive		
	SP14.04 Goodwill Industries 842 W. Michigan		

Planning Commission & Zoning Board of Appeals Annual Report 2014

Planning Commission Highlights of 2014

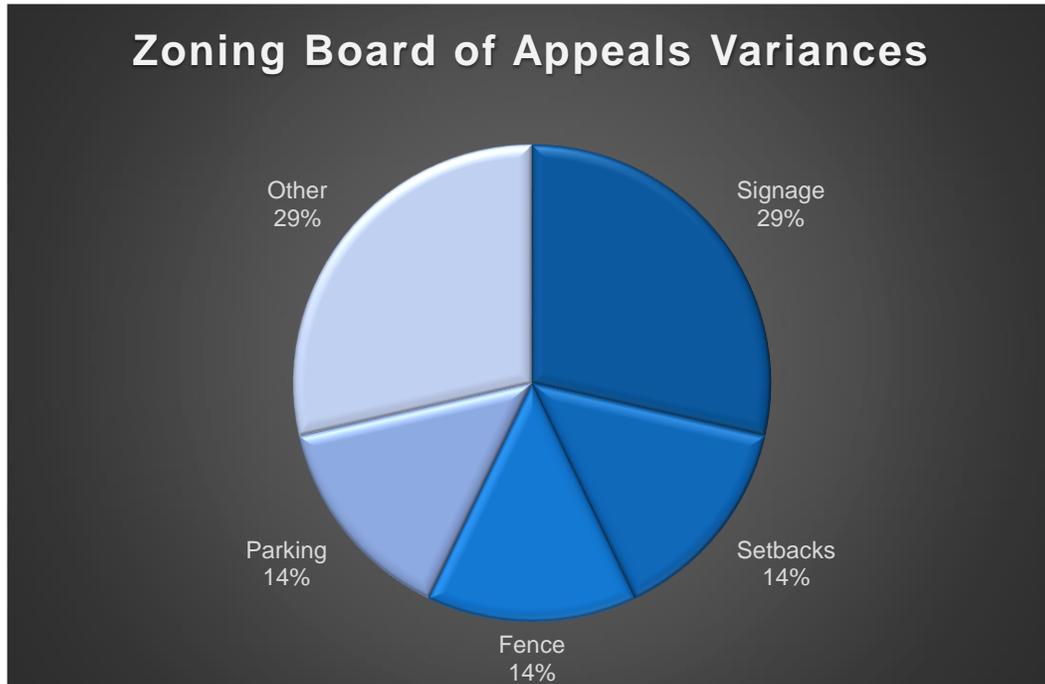
- Oaklawn Hospital submitted and received approval for a revised site plan for the north parking lot to Planning Commission in March of 2014.
- The Fire Department's site plan was reviewed and approved for relocation to 1201 Arms Street.
- The rear portion of the property at 842 W Michigan Ave was recommended for rezoning from R-2 (Suburban Residential District) to B-4 (Regional Commercial District).
- The Planning Commission began the process of a Master Plan update to include a work session and a community open house for visioning.
- A Special Land Uses Amendment was recommended for The Way Inn at 414 W. Mansion for the display of a business sign.
- The property at 207 Winston Drive received site plan approval for an addition that will include two dental exam rooms.
- One new business, Grand Vista Assisted Living at 208 Winston Court, received site plan approval in October of 2014.
- A preliminary site plan was reviewed for Goodwill Industries at 842 W Michigan Ave.

Planning Commission & Zoning Board of Appeals Annual Report 2014

Zoning Ordinances Recommended for Change in 2013

- Proposed the addition of §156.224, Donation Collection Bins ordinance, and the addition of definitions to §156.003. City Council approved on August 21, 2014.

Planning Commission & Zoning Board of Appeals Annual Report 2014



Case #	Petitioner	Address	Request	Action	Date
14.01	Mark & Paige Duchenev	115 E. Michigan Avenue	Projecting sign	Withdrawn	1/8/14
14.02	Scott Morrison	208 Winston Ct	Use Variance for Assisted Living Facility	Approved	5/13/14
14.03	Marshall Feed and Grain	450 S Eagle	Pole Barn – variance from setbacks	Approved	6/19/14
14.05	Tyler Burghdorf	221 S Eagle	Build 6' fence in front yard setback	Approved	7/17/14
14.06	Oaklawn Hospital	200 N Madison	Replace ER sign – excess signage allowance	Approved	7/17/14
14.07	Marshall Nursing & Rehab	575 N Madison	Pole Barn- accessory structure in front yard	Approved	8/21/14
14.08	Goodwill Industries	842 W Michigan	Exception from maximum parking space limit 20 more	Tabled	10/16/14
14.08	Goodwill Industries	842 W Michigan	Exception from maximum parking space limit 20 more	Approved	11/12/14

Planning Commission & Zoning Board of Appeals Annual Report 2014

Zoning Board of Appeals Highlights of 2014

- One residential property received a dimensional variance for fence restrictions in 2014.
- Two commercial properties, 450 S Eagle and 575 N Madison, received dimensional variances for pole barn locations for storage.
- One Use Variance was granted for a new assisted living facility at 208 Winston Court.
- Two dimensional variances were applied for regarding signage. One was withdrawn while the other was approved for a replacement sign in the HCOD district.
- One exception was granted for parking space requirements for a proposed commercial business in the west corridor.

Planning Commission & Zoning Board of Appeals Annual Report 2014

Joint Planning Commission Highlights of 2014

- No new business was brought to the Joint Planning Commission in 2014

Code Enforcement Index for 12/2014

December 31, 2014

Property Owner	Address	Category	Date Filed	Status	Date Closed
HAGENBARTH JOSEPH M & I	719 N GORDON	No Permit	12/30/2014	Open	
STRUBLE EYLENE	345 N MULBERRY	Property Maint	12/22/2014	Open	
WIRTZ JASON H	812 W GREEN	Trash	12/17/2014	Open	
KORRECK MARIE DIANN	526 WASHINGTON	Property Maint	12/09/2014	Open	
CORNWELL BLAIN	424 MONROE	Trash	12/09/2014	Open	
WEST MICHIGAN CAPITAL F	340 S EAGLE	Junk Car	12/08/2014	Open	
CAMPBELL CRYSTAL	506 WARREN	Property Maint	12/01/2014	Open	
HARNDEN SCOTT K	401 E MANSION	Property Maint	12/01/2014	Open	
EDWARDS ANNA & CARLA	722 W MICHIGAN	Trash	11/25/2014	Open	
HILL AKI D	701 W HANOVER	Trash	11/25/2014	Open	
ROOT GARY L	314 S LINDEN	Parking	11/25/2014	Open	
STULBERG MORRIS TRUSTE	100 PAGE	Junk Car	11/12/2014	Open	
RUDDOCK CHERYL ANN	560 N MADISON	Property Maint	08/13/2014	Open	
GASKELL LARRY D & RUTH	307 S MARSHALL	Trash	10/16/2014	Open	
RUDDOCK CHERRYL A	741 MONTGOMERY	Trash	07/28/2014	Open	
HARNDEN SCOTT K	401 E MANSION	Junk Car	03/28/2014	Open	
LINDSEY DELLA M	316 S LINDEN	Trash	12/22/2014	Closed	12/30/2014
NASH WILL D & MARY C	112 N GORDON	Trash	12/15/2014	Closed	12/23/2014
MORSE WILLIAM F & CALLY	603 BREWER ST	Parking	12/10/2014	Closed	12/15/2014
CITY OF MARSHALL	W GREEN	Parking	11/25/2014	Closed	12/01/2014
HARNDEN SCOTT K	401 E MANSION	Parking	11/24/2014	Closed	11/24/2014
CITY OF MARSHALL	W MANSION	Junk Car	11/21/2014	Closed	12/15/2014
GREER GERALDINE M & BRI	1020 HUDSON	Leaf	11/21/2014	Closed	11/24/2014
DEFINTA ALEXANDER L	322 E SPRUCE	Parking	11/21/2014	Closed	11/24/2014
BRIGHAM DAVID	821 E MICHIGAN	Parking	11/20/2014	Closed	11/20/2014
SOMSEL NEIL G	615 W HANOVER	Parking	11/18/2014	Closed	11/19/2014
DREAMERS FURNITURE	112 N EAGLE	Property Maint	11/17/2014	Closed	11/20/2014
BRUGGEMAN JOHN W & LEN	327 S EAGLE	Trash	11/14/2014	Closed	11/24/2014
JOHNSON BENJAMIN & LYN	749 WRIGHT LANE	No Permit	11/12/2014	Closed	11/18/2014
HAGEDORN MICHAEL E & JE	217 CIRCLE DR	Parking	11/06/2014	Closed	11/07/2014

Code Enforcement Index for 12/2014

December 31, 2014

Property Owner	Address	Category	Date Filed	Status	Date Closed
SCHNAITMAN SUE ANN	221 W MICHIGAN	Parking	11/05/2014	Closed	11/24/2014
CALHOUN COUNTY TREASU	820 MANN RD	Tree	11/05/2014	Closed	12/01/2014
SCHNITZLER CRYSTAL L & T	317 S KALAMAZOO	Trash	10/30/2014	Closed	11/11/2014
TOWNSEND THOMAS D	411 HIGH ST	Leaf	10/29/2014	Closed	10/30/2014
CAMPBELL CRYSTAL	506 WARREN	Trash	10/21/2014	Closed	11/26/2014
HOWARD TASHA	719 RIVER RD	Tree	10/21/2014	Closed	10/21/2014
MAZZULLA JASON	306 S KALAMAZOO	Trash	10/17/2014	Closed	11/10/2014
WAGNER GLORIA J	716 E MANSION	Parking	10/16/2014	Closed	10/16/2014
POTTER GREGORY A & CAROL	906 S KALAMAZOO	Parking	10/16/2014	Closed	10/17/2014
TERRY II RICHARD	105 CHERRY	Junk Car	10/16/2014	Closed	11/24/2014
SHARRAR JOSEPH	705 E MANSION	Parking	10/15/2014	Closed	10/16/2014
SOUTHWELL SCOTT	631 N KALAMAZOO	Junk Car	10/15/2014	Closed	11/03/2014
MILLER WILLIAM T & MARIH	816 S KALAMAZOO	Trash	10/14/2014	Closed	10/15/2014
WINGET CHARLES & BISCHC	541 N MADISON	Parking	10/08/2014	Closed	10/30/2014
WIRTZ JASON H	812 W GREEN	Trash	10/06/2014	Closed	10/15/2014
BROWN CASPER W & LORI A	720 W HANOVER	Trash	10/06/2014	Closed	11/03/2014
SHARRAR JOSEPH	705 E MANSION	Parking	10/06/2014	Closed	10/07/2014
WINGET CHARLES & BISCHC	541 N MADISON	Parking	10/06/2014	Closed	10/07/2014
BRUGGEMAN JOHN	701 W MANSION	Trash	10/02/2014	Closed	10/03/2014
AT&T	200 WEST DRIVE NORTH	Property Maint	09/29/2014	Closed	10/15/2014
JOHNSON BENJAMIN & LYNH	749 WRIGHT LANE	Tree	09/26/2014	Closed	10/15/2014
MAR-SCHELL INC	869 E MICHIGAN	Noxious Weeds	09/26/2014	Closed	10/01/2014
JASIENSKI FRANK & DONNA	718 W HANOVER	Junk Car	09/18/2014	Closed	10/01/2014
BERRY JAMES D & DAWN	313 FERGUSON	Trash	09/17/2014	Closed	09/22/2014
AT&T	200 WEST DRIVE NORTH	Property Maint	09/17/2014	Closed	09/17/2014
ALLMAN PARTNERS I LLC	1132 MORNINGSIDE DR	Junk Car	09/17/2014	Closed	09/17/2014
MAINS JERRY & JOANNE	108 N FOUNTAIN	Grass	09/15/2014	Closed	10/01/2014
CALHOUN COUNTY LAND B.	605 TURQUOISE TRAIL	Grass	09/09/2014	Closed	09/22/2014
POLO CLUB-FOR REFERENC	861 E MICHIGAN	Trash	09/04/2014	Closed	09/08/2014
KIEBALA JOSEPH & HEIDI - I	321 MITCHELL	Junk Car	08/28/2014	Closed	09/02/2014

Code Enforcement Index for 12/2014

December 31, 2014

Property Owner	Address	Category	Date Filed	Status	Date Closed
TUCKER EUGENE & CAROL	110 PLUM ST	Parking	08/28/2014	Closed	08/29/2014
BRUGGEMAN JOHN	701 W MANSION	Trash	08/28/2014	Closed	08/29/2014
HAKES CYNTHIA J	131 HART	Health	08/28/2014	Closed	08/28/2014
STAR PROPERTIES OF MARS	120 S PARKVIEW	Dog complaint	08/27/2014	Closed	08/27/2014
HOWE KARLA	728 W HANOVER	Dog complaint	08/26/2014	Closed	09/02/2014
JACKSON DOUGLAS A	116 N MARSHALL	Property Maint	08/26/2014	Closed	09/02/2014
MACKEY II EBAN J	544 EAST DRIVE	Parking	08/25/2014	Closed	08/26/2014
WINGET CHARLES & BISCHC	541 N MADISON	Grass	08/25/2014	Closed	09/10/2014
MESTEMAKER PAUL A & MA	631 BIRCH	Pool	08/22/2014	Closed	08/22/2014
PARKS MATTHEW D & MICH	1038 LOWE DR	Poultry/Ducks	08/20/2014	Closed	08/20/2014
SCHAEFER SANDRA K	343 N MARSHALL	Grass	08/20/2014	Closed	09/02/2014
TERRY II RICHARD	105 CHERRY	Trash	08/06/2014	Closed	09/08/2014
HOWE KARLA	728 W HANOVER	Parking	08/06/2014	Closed	08/14/2014
LAWRENCE JEFFREY A	135 W HANOVER	Trash	08/06/2014	Closed	08/18/2014
AUSABLE 413 PROPERTIES L	525 BREWER ST	Grass	08/04/2014	Closed	08/11/2014
SCHADLER KEITH W & LAUF	419 MONROE	Trash	08/04/2014	Closed	08/05/2014
GROSKOPF BARBARA TRUST	807 S KALAMAZOO	Trash	08/04/2014	Closed	08/11/2014
ASHLEY STUART M	802 CLINTON	Trash	08/04/2014	Closed	08/06/2014
BRUGGEMAN JOHN W & LEN	301 S HAMILTON	Property Maint	07/31/2014	Closed	08/07/2014
CHANEY FAMILY REVOCAB	316 E HANOVER	Junk Car	07/31/2014	Closed	09/18/2014
AMARO RICKEY L & SHARO	623 RIVER RD	Trash	07/29/2014	Closed	10/30/2014
MORGAN JOHN P & RETHA J	514 W HANOVER	No Permit	07/29/2014	Closed	08/14/2014
PALMER RICHARD D	510 W HANOVER	No Permit	07/29/2014	Closed	08/14/2014
CLARK DAVID R	403 N KALAMAZOO	Health	07/28/2014	Closed	08/01/2014
837 HANOVER LLC	837 W HANOVER	Grass	07/23/2014	Closed	07/30/2014
MAINS JERRY & JOANNE	108 N FOUNTAIN	Grass	07/23/2014	Closed	08/11/2014
MONTGOMERY JOE BUILDEI	1207 COLGROVE DR	Grass	07/23/2014	Closed	08/11/2014
FLYNN JOSEPH R & SHERRY	423 W GREEN	Trash	07/22/2014	Closed	08/13/2014
FROHM JAMES	627 W MICHIGAN	Health	07/11/2014	Closed	08/14/2014
CROCE HUGH E	336 N EAGLE	Health	07/10/2014	Closed	08/01/2014

Code Enforcement Index for 12/2014

December 31, 2014

Property Owner	Address	Category	Date Filed	Status	Date Closed
STONE DAVID J & MARIE L/T	829 S KALAMAZOO	City Ordinance	07/10/2014	Closed	07/28/2014
BENNETT ALLIE E	116 PEARL	Junk Car	07/10/2014	Closed	07/22/2014
HAKES CYNTHIA J	131 HART	Junk Car	07/05/2014	Closed	07/08/2014
GERBER SETH & SARAH	822 S KALAMAZOO	Trash	07/05/2014	Closed	07/08/2014
YORDY OBIE B & JOHNSON I	401 E GREEN	Grass	07/05/2014	Closed	07/15/2014
PERKINS GREG A	616 RIVER ST	Grass	07/02/2014	Closed	
REUSS HEROLD & RETTA	342 S EAGLE	Property Maint	06/25/2014	Closed	07/01/2014
GROSS STEPHEN	734 E MICHIGAN	Health	06/28/2014	Closed	08/06/2014
SHELLENBERGER LINDA	512 WASHINGTON	Grass	06/28/2014	Closed	
HARDY RICHARD C & GAIL /	106 ELK ST	City Ordinance	06/27/2014	Closed	07/15/2014
GOODWIN RONALD L	330 S MULBERRY	City Ordinance	06/27/2014	Closed	08/11/2014
TEAR JOHN A & LAURIE A	N FOUNTAIN	Grass	06/24/2014	Closed	07/15/2014
FLYNN DAVID A	720 FOREST	Trash	06/20/2014	Closed	07/09/2014
CAMPBELL CRYSTAL	506 WARREN	Health	06/19/2014	Closed	07/15/2014
AMARO RICKEY L & SHARO	623 RIVER RD	Health	06/19/2014	Closed	06/20/2014
LANE JASON L & CRYSTAL S	136 HART	Junk Car	06/19/2014	Closed	10/30/2014
MONTOGMERY JOE BUILDEI	1209 COLGROVE DR	Grass	06/19/2014	Closed	08/11/2014
LEACH SHIRLEY M	329 N LIBERTY	City Ordinance	06/17/2014	Closed	07/12/2014
ADAMS NORMA L L/T	622 W GREEN	Grass	06/11/2014	Closed	06/18/2014
CALHOUN CO AG & INDUS S	527 FAIR STREET	City Ordinance	06/10/2014	Closed	07/28/2014
STULBERG MORRIS TRUSTE	100 PAGE	City Ordinance	06/06/2014	Closed	07/15/2014
MAR-SCHELL INC	869 E MICHIGAN	Noxious Weeds	06/06/2014	Closed	07/28/2014
SHELLENBERGER LINDA	512 WASHINGTON	Grass	06/03/2014	Closed	06/06/2014
HOWLAND RONALD L & DEE	725 W PROSPECT	Grass	06/03/2014	Closed	06/05/2014
ALLEN CHARLES E & LISA M	529 HILL ROAD CT	Grass	05/30/2014	Closed	06/06/2014
WEEKS DANA	508 WASHINGTON	Grass	05/29/2014	Closed	06/11/2014
RAYNER TODD M & BETH A	348 N LINDEN	Grass	05/29/2014	Closed	06/06/2014
HILL AKI D	701 W HANOVER	Grass	05/29/2014	Closed	06/06/2014
BRADLEY BARBARA & RYA	LOCUST/VACANT	Grass	05/28/2014	Closed	06/10/2014
AUSABLE 413 PROPERTIES L	525 BREWER ST	Grass	05/28/2014	Closed	06/06/2014

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Property Owner	Address	Category	Date Filed	Status	Date Closed
ADKINS ARBIE & BRENDA L	607 MONROE	City Ordinance	05/27/2014	Closed	05/31/2014
MC DONALD DARREN M & M	557 N MADISON	Trash	05/27/2014	Closed	05/28/2014
FEDERAL HOME LOAN MOR	303 N MARSHALL	Grass	05/27/2014	Closed	05/28/2014
REED ROBIN Y	110 S MARSHALL	Grass	05/27/2014	Closed	05/28/2014
MAINS JERRY & JOANNE	108 N FOUNTAIN	Grass	05/27/2014	Closed	06/06/2014
KILBOURN KENNETH	320 N MARSHALL	Property Maint	05/20/2014	Closed	05/27/2014
TERRY II RICHARD	105 CHERRY	Property Maint	05/20/2014	Closed	05/27/2014
LIBBRECHT TERRI L	537 EAST DRIVE	Junk Car	05/16/2014	Closed	06/12/2014
KORRECK MARIE DIANN	526 WASHINGTON	City Ordinance	05/15/2014	Closed	05/29/2014
837 HANOVER LLC	837 W HANOVER	Grass	05/15/2014	Closed	06/06/2014
MOE JOANNE	111 N LINDEN	Property Maint	05/14/2014	Closed	06/06/2014
SWALWELL APRIL	203 FOREST	Grass	05/14/2014	Closed	06/12/2014
MONARCH COMMUNITY BA	842 W MICHIGAN	Grass	05/13/2014	Closed	
BOOTH MICHAEL I	421 MITCHELL	Property Maint	05/07/2014	Closed	
ALLMAN PARTNERS I LLC	1148 WOODRUFF DR	Property Maint	05/07/2014	Closed	05/29/2014
RIEGLE DANIEL	518 WASHINGTON	City Ordinance	05/07/2014	Closed	05/13/2014
CONANT FRED C & STELLA	406 ALLEN ROAD	Junk Car	05/01/2014	Closed	05/02/2014
BIDELMAN BRIAN T	431 N MARSHALL	Trash	05/01/2014	Closed	05/08/2014
ROCCO LEROY & KAREN TR	1064 S KALAMAZOO	Fence	04/30/2014	Closed	05/01/2014
JACKSON DOUGLAS A	116 N MARSHALL	City Ordinance	04/29/2014	Closed	08/26/2014
CAMPBELL CRYSTAL	506 WARREN	City Ordinance	04/29/2014	Closed	05/03/2014
CALHOUN COUNTY LAND B	309 W HANOVER	City Ordinance	04/25/2014	Closed	
BIRT ANDREW & JENNIFER	110 N GRAND	Leaf	04/24/2014	Closed	04/25/2014
KECK DANIELLE, JOHN & K	502 W GREEN	Leaf	04/24/2014	Closed	04/26/2014
STULBERG MORRIS TRUSTE	100 PAGE	City Ordinance	04/23/2014	Closed	05/07/2014
TERRY II RICHARD	105 CHERRY	Junk Car	04/23/2014	Closed	04/24/2014
MAZZULLA JASON	306 S KALAMAZOO	Trash	04/23/2014	Closed	05/21/2014
CONINE MARY FKA: (MUSIA	737 GORHAM ST	No Permit	04/23/2014	Closed	05/07/2014
MURPHY REBECCA L	612 W MICHIGAN	City Ordinance	04/22/2014	Closed	04/25/2014
BISCHOFF JERRY L & MARS	728 S MARSHALL	Property Maint	04/22/2014	Closed	08/21/2014

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Property Owner	Address	Category	Date Filed	Status	Date Closed
LAUTZENHEISER NICHOLAS	412 S MADISON	Property Maint	04/22/2014	Closed	08/21/2014
WATSON MICHAEL A	828 W GREEN	City Ordinance	04/19/2014	Closed	05/02/2014
MERRILD ANDREW CLARE	414 W MANSION	City Ordinance	04/19/2014	Closed	04/22/2014
US BANK NATIONAL ASSOC	1401 O'KEEFE	Property Maint	04/16/2014	Closed	05/07/2014
RJJS LLC	406 FERGUSON	City Ordinance	04/02/2014	Closed	04/04/2014
VANHOOSE JONATHAN R	405 S EAGLE	Trash	03/29/2014	Closed	04/02/2014
EDWARDS ANNA & CARLA	722 W MICHIGAN	Trash	03/29/2014	Closed	04/12/2014
BRUGGEMAN JOHN	701 W MANSION	Trash	03/29/2014	Closed	04/01/2014
WATSON JACK & MARY ANN	212 S JEFFERSON	Trash	03/28/2014	Closed	03/29/2014
KIPP MELISSA S	333 S MARSHALL	Trash	03/25/2014	Closed	03/26/2014
LANGRIDGE KENNETH C	120 W SPRUCE	Trash	03/25/2014	Closed	03/27/2014
RUDDOCK CHERRYL A	741 MONTGOMERY	City Ordinance	03/21/2014	Closed	04/08/2014
SHEPHERD SR EARL	411 MITCHELL	Property Maint	03/21/2014	Closed	04/15/2014
FROHM JAMES	627 W MICHIGAN	Property Maint	03/21/2014	Closed	04/15/2014
HARNDEN SCOTT K	401 E MANSION	City Ordinance	03/19/2014	Closed	03/20/2014
MARSHALL BUILDING AUTH	200 E SPRUCE	Health	03/14/2014	Closed	03/28/2014
US BANK NATIONAL ASSOC	1401 O'KEEFE	Trash	03/12/2014	Closed	03/14/2014
BEGG JEFFREY	441 MONROE	Trash	03/08/2014	Closed	03/20/2014
SALINAS JAMES & MARCELI	220 N FOUNTAIN	Trash	03/07/2014	Closed	03/14/2014
CADY NICHOLAS M & STARR	334 S EAGLE	Trash	03/07/2014	Closed	03/27/2014
WALLACE ERIC&ROCHE-WA	711 NORTH DRIVE EAST	Junk Car	03/07/2014	Closed	05/16/2014
LANDMARK PROPERTIES OF	1101 W MICHIGAN	Sign	03/07/2014	Closed	03/14/2014
MARSHALL BUILDING AUTH	200 E SPRUCE	City Ordinance	02/28/2014	Closed	03/14/2014
CITY OF MARSHALL	W GREEN	Junk Car	02/28/2014	Closed	03/14/2014
LIU JIN BING	204 W MICHIGAN	Sign	02/25/2014	Closed	03/29/2014
STILLOTT PROPERTY MANA	508 W MICHIGAN	City Ordinance	01/17/2014	Closed	03/20/2014
TAYLOR BEATRICE I	701 E MICHIGAN	Snow	01/10/2014	Closed	03/14/2014
BRIEGEL BROOKE	518 RAYMOND	City Ordinance	11/13/2013	Closed	03/29/2014
SMITH TERRY	302 S MULBERRY	Property Maint	09/04/2013	Closed	05/08/2014
ZAHARION DIANE E	407 N MADISON	Property Maint	08/26/2013	Closed	04/03/2014

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HOWARD ROGER	808 W MICHIGAN	Property Maint	08/15/2013	Closed	
WATSON JACK & MARY ANN	212 S JEFFERSON	Property Maint	06/12/2013	Closed	06/17/2013
ROMA'S CORNER CAFE LLC	228 W MICHIGAN	Property Maint	05/21/2013	Closed	06/18/2014
VOIGT ROBERT K & JULIE A	151 W MICHIGAN	Property Maint	02/20/2013	Closed	
PALMER RICHARD D	510 W HANOVER	Health	02/02/2012	Closed	03/26/2014
CUBBON SHARON R	1016 S KALAMAZOO	Health	12/06/2011	Closed	03/28/2014

Records: 186

Population: All Records

Enforcement.DateNextAction Between 05/01/2014 AND 05/07/2014

AND

Enforcement.DateClosed Between <Prompt For Value> AND <Prompt For Value>

OR